



**PUBLIC REALM DESIGN GUIDELINES
SEPTEMBER 2017**



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A

**USE AND
APPLICATION**

1.0 USE AND APPLICATION

1.1 INTRODUCTION

The Shenton Park Hospital Redevelopment vision and objectives form the basis of the Public Realm Guidelines (PRG). The PRG supports the redevelopment of Shenton Park Hospital (Montario Quarter) by providing a response to the place, its unique nature and ensuring the delivery of the vision aspirations within the public realm. It aims to define the considerations and opportunities that inform the design and assessment process for all public areas and provide a comprehensive and user friendly framework that reinforces the vision for the place and ensure consistency of quality and aesthetics in the delivery of the project over its lifespan.

The PRG has been established to articulate the important interface between public open spaces, streetscapes and built form; as well as establishing continuity between the various development areas and precincts within the redevelopment area.

This document shall be utilised in guiding the development of the public realm, and giving assessors a framework to adequately determine if the specific requirements of each developed public realm space are achieved.

The overarching vision for the SPHR Structure Plan is as follows:

1.2 APPLICATION

The Montario Quarter Public Realm Guidelines (PRG) have been prepared and coordinated with the the City of Nedlands. This Guideline applies to all subdivision and development applications within the Shenton Park Hospital Redevelopment Improvement Scheme (IS) area (Figure 1)

Where any inconsistency arises between this document and the Scheme, the Scheme shall prevail to the extent of that inconsistency.

The development of all built form within the lot boundaries not pertaining to public realm, is covered in the Shenton Park Hospital Redevelopment Built Form Guidelines, and as such should be referred to in conjunction with the Montario Quarter PRG.

THE FUTURE REDEVELOPED MONTARIO QUARTER SITE OFFERS THE NEXT EVOLUTION OF INNER CITY LIVING - AN URBAN VILLAGE WITHIN A LANDSCAPE SETTING. THE REDEVELOPMENT OF THE SITE WILL SHOWCASE A CHOICE OF MULTIGENERATIONAL HOUSING, AFFORDABLE LIVING AND LOCAL AMENITY, WHILST RETAINING DISTINCTIVE TREES TO CREATE A NEIGHBOURHOOD WITH A FEELING OF SECURITY AND PRIVACY, WITH CLEAR CONNECTIONS TO THE TRAIN STATION AND SURROUNDS.

1.3 PURPOSE

The purpose of this document is to assist and guide the development of the public open spaces (POS), streetscapes and the interfaces with these public areas to create a functional, safe and high amenity environment in accordance with the development objectives and public realm vision as identified in Sections 1.4 and 1.5.

This Public Realm Guideline document provides strategic direction and detailed recommendations for the development of a unique character for Montario Quarter and its precincts. It

synthesises the key findings from the history and context and identifies influences, drivers and considerations in delivering the character of the Montario Quarter. The PRG build upon this research to define place character and provides strategic directions, recommendations and requirements for its delivery.

All concepts of POS areas and interfaces in this document are indicative only, and aim to articulate the principles of what is required in each stage and precinct.

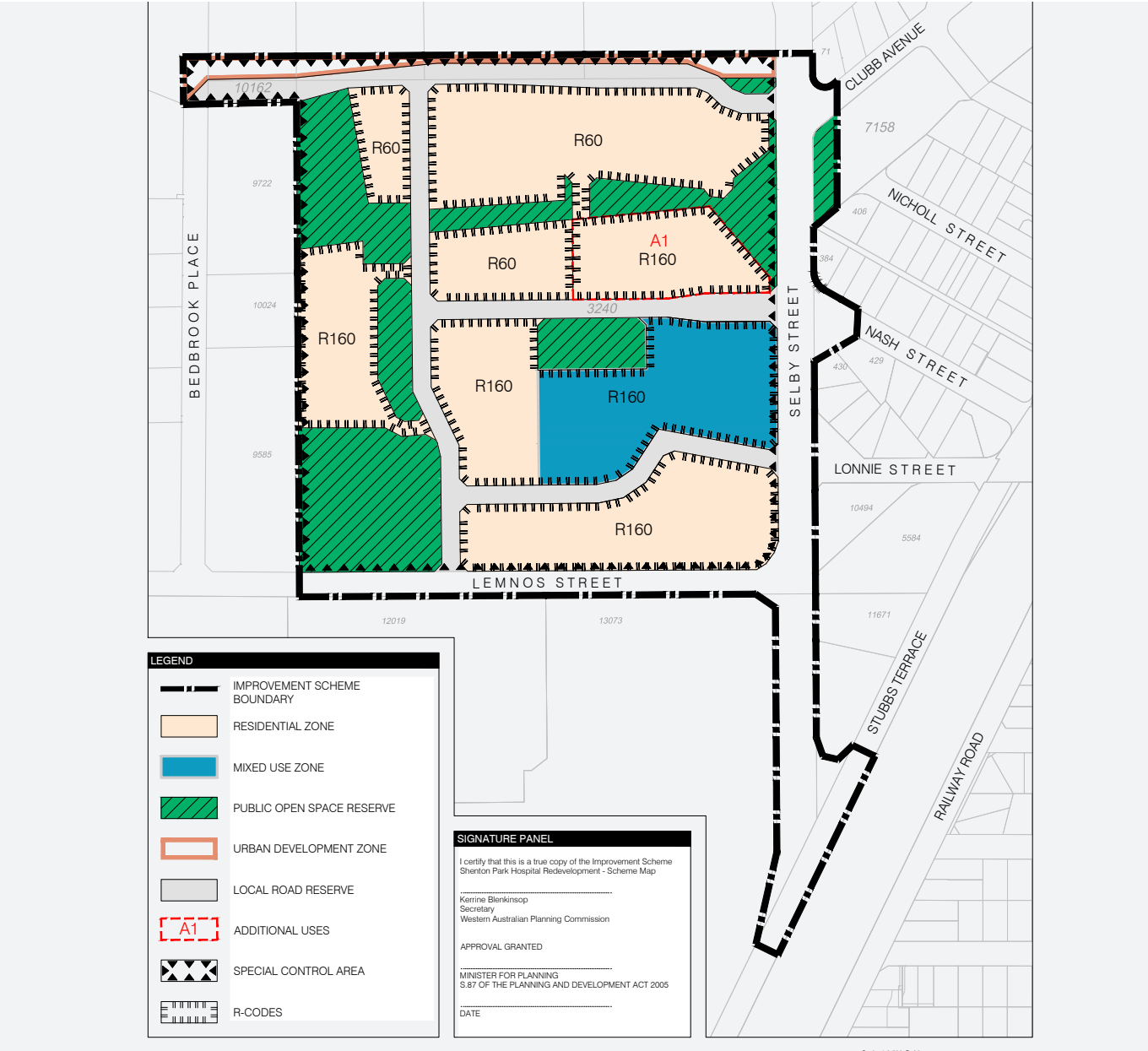


Figure 1 Improvement Scheme Plan

1.4 PUBLIC REALM VISION

The following vision objectives are identified within the Shenton Park Hospital Redevelopment IS and apply to this PRG:

- Demonstrate a liveable and interactive urban development.
- Create a sense of place with a strong focus on accessibility and rehabilitation through interpretation of the site's heritage.
- Build community capacity through the provision of social amenity.
- Provide accessible infrastructure and natural play environment to promote mobility, safety and a range of community activities.
- Connecting the people to local amenity and regional transport options through the delivery of quality pedestrian and cycle linkages.
- Improve the physical health of the community and promote social well-being by fostering a public realm that encourages social interaction and pedestrian amenity.
- Celebrate the cultural and heritage aspects of the site in the design of the public realm and landscape.
- Provide a safe, permeable, accessible and connected public realm with links to surrounding areas and transport options.
- Provide accessible public realm that responds to its context.
- Ensure that new residents and visitors have a sense of belonging and connection to the previous use of the site by celebrating built and social history.
- Restore and enhance ecological links to create opportunities for passive recreational amenity.
- Encourage climate responsive design in public realm.
- Maximise the use of public transport, cycling and walking.
- Target reuse/ recycling of demolition and construction materials, across the public realm.
- Reduction of 'urban heat island' effect.

Promote Water Sensitive Urban Design techniques throughout the streetscape and public realm.



Top: Opening of the first Commonwealth Paraplegic Games 1962
Bottom: Paraplegic Association Workshop
Credit to State Library of WA Pictorial Collection

IN RECOGNITION THE HISTORY OF THE SITE, MONTARIO QUARTER HAS BEEN NAMED IN RECOGNITION OF THE HOSPITAL'S SIR GEORGE MONTARIO BEDBROOK (1921-1991). HE WAS A PIONEER IN THE TREATMENT AND REHABILITATION OF PATIENTS WITH PARAPLEGIA AND WAS RESPONSIBLE FOR BRINGING THE WORLD'S FIRST COMMONWEALTH PARAPLEGIC GAMES TO PERTH.

1.5 DEVELOPMENT OBJECTIVES

The following PRG objectives respond to the Project Objectives and aim to support the realisation of these within the public realm:

- To maintain a character of being an established site with a rich history through;
 - maintaining mature trees where practical,
 - celebrating key heritage landscapes,
 - relocating mature trees where practical,
 - maintaining or relocating sculpture/artworks within the landscape,
 - retaining mature trees along road boundaries where practical, and
 - utilising materials and detailing from the demolished buildings in the landscape where practical.
- Encourage and support pedestrian connectivity by;
 - providing shaded walkways,
 - improving the journey to the train station,
 - linking the linear green spine to Charles Stokes Reserve to the north east,
- providing dedicated linkages that are designed for universal access, and
- creating interpretive and recreation trails within the development and beyond.
- To provide a public realm that supports the new community by;
 - linking the major POS to the commercial/retail precinct,
 - interpreting the site history in the public realm,
 - providing amenity for all ages,
 - providing the facilities to allow for adaptability/ community activities, and
 - providing a diversity of places and spaces throughout the development.
- To celebrate the legacy of place through embedding the 7 dimensions of wellness - emotional, social, intellectual, spiritual, physical, creative, and environmental - throughout the development.



1.6 RELATIONSHIP TO OTHER DOCUMENTS

The Montario Quarter PRG has been developed with regards to several other key documents to assist developers and approval agencies with the visioning and delivery of public realm within the development.

During the concept design phase it is encouraged that the following documents are read in conjunction with the PRG:

- Shenton Park Hospital Redevelopment Improvement Scheme
- Shenton Park Hospital Redevelopment Built Form Guidelines
- Shenton Park Hospital Redevelopment Public Art Policy
- Shenton Park Hospital Redevelopment Signage Policy

1.7 TIMING AND USE

The Montario Quarter PRG shall be referred to at the initiation of the project design phase of all developments to ensure that the relevant information is embedded into all works at an early stage.

Subsequent design phases shall reference the PRG's to ensure continuity of vision. Approval agencies will use these PRG's as an assessment mechanism.

Proponents seeking to depart from any provisions, will be required to present rationale based on the particular circumstances of the site and justified against the development vision and relevant design objectives. The preparedness to apply this Guidelines document in a flexible

manner will depend on the applicant demonstrating that the urban village atmosphere of Montario Quarter will not be compromised and that urban design and economic development advantages to the whole development would result from the proposal. Departure from the guidelines will be at the sole discretion of the Western Australian Planning Commission (WAPC) on advice of the Design Review Panel (DRP).

Proponents are strongly encouraged to liaise with the Design Review Panel as early as possible in the design process to ensure the intent and requirements of the guidelines and the vision are satisfactorily addressed. Developers are also strongly encouraged to engage the services of a suitably experienced and qualified Landscape Architect, Architect and/or Planner who can respond to the local context in an innovative and contemporary way.

Overall, all applications will be determined on their individual merits, having regard to the requirements of this document and other relevant policies and requirements.

1.8 OPERATION

The PRG is divided into four parts.

Part A: Use and application - guideline statement, document use guidelines and explanatory notes

Part B: Context and themes – overall masterplan thematic element, character areas and themes that unify and define each precinct.

Part C: Typologies - public realm concepts that define typical design response and considerations for various public realm areas and interface conditions.

Part D: Selections - design intent and performance criteria established for all public realm elements by precinct.





B

**CONTEXT
& THEMES**

2.0 CONTEXT AND THEMES

Part B: Context and themes of the PRG provides an overview of the development area and defines both the overall project thematic ideas and the four individual precinct character areas.

2.1 PROJECT BACKGROUND

The Shenton Park Hospital Redevelopment project, now defined as Montario Quarter was initiated by LandCorp in 2012 to investigate the future use of the site when the new 140 bed State Rehabilitation Service opened in mid-2014 at Fiona Stanley Hospital. LandCorp has subsequently undertaken Master Planning and Statutory Planning amendments and rezoning of the project area through an Improvement Scheme process.

A number of technical investigations and reports have also been undertaken during this time period

2.2 CONTEXT

The following section provides an overview of the existing context.

2.2.1 REGIONAL CONTEXT

The SPRH site is located approximately 5 kilometres west of the Perth Central Business District and 5 kilometres inland from the Indian Ocean, within the suburb of Shenton Park. The site is located adjacent to the Shenton Park train station, on the western side of the Perth-Fremantle train line.

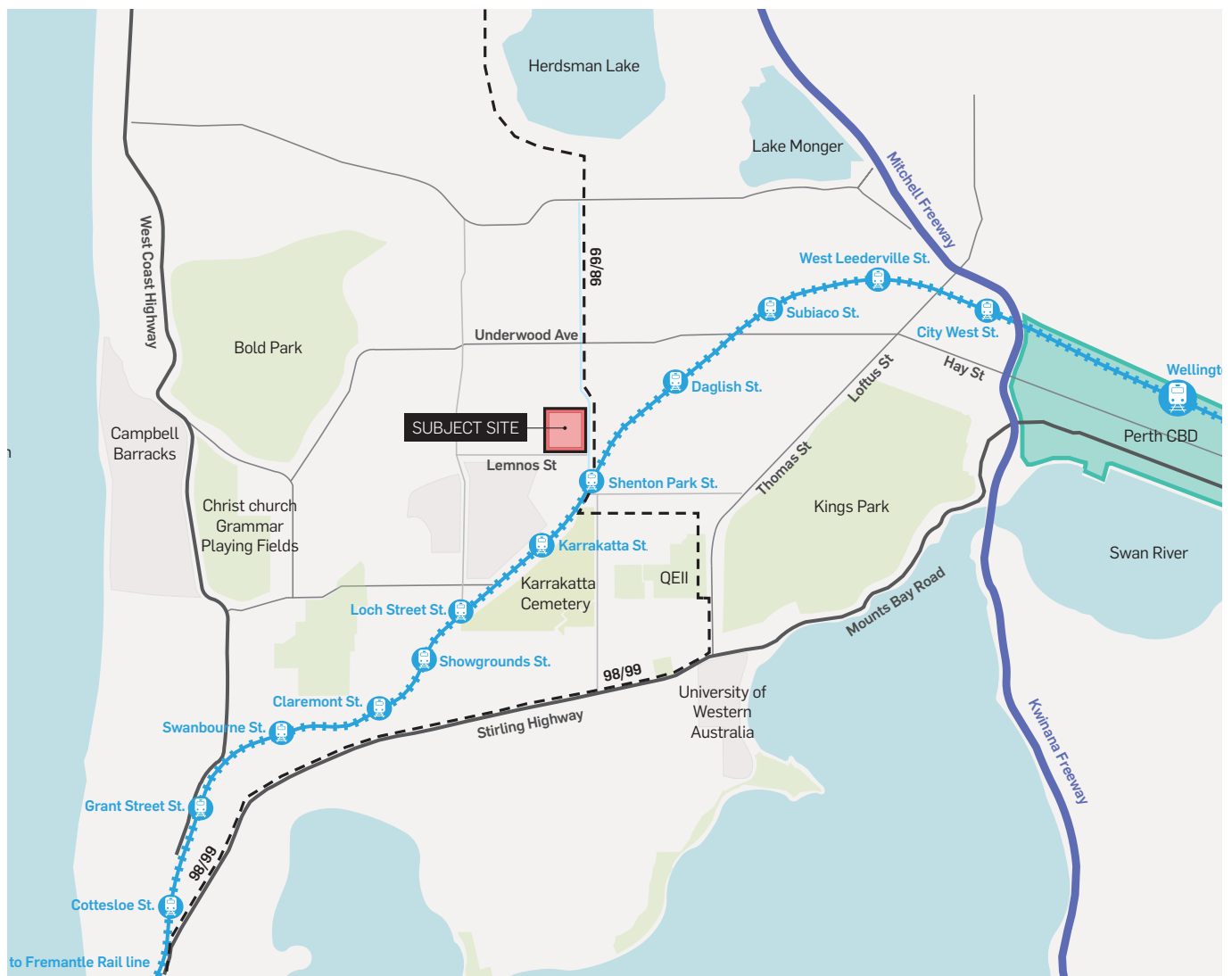


Figure 2 Regional Context

2.2.2 LOCAL CONTEXT

The SPRH site is 15.8 hectares and is bounded by Lemnos Street to the south and Selby Street to the east. The site has varied topography, with areas of considerable slope and some areas that are generally flat. Significant vegetation exists on the site. A variety of land uses surround the SPRH site,

with land uses to the north, west and south being of a non-residential nature. The land to the east is dominated by low density residential land uses.

Existing buildings in Victoria House and parts of G-Block will remain and be reused on site.

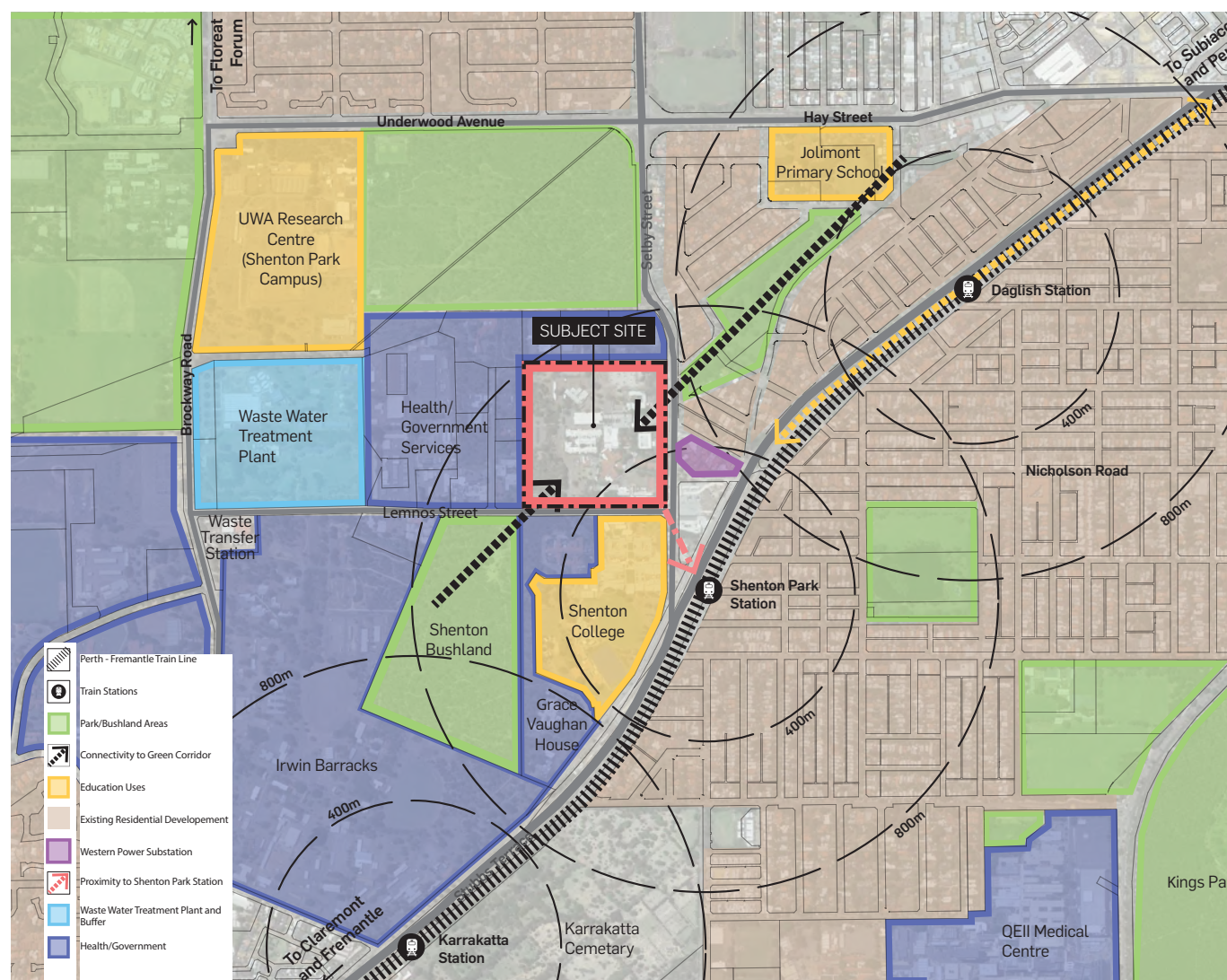


Figure 3 Local Context

“ IT WAS FUN - WE WERE LIKE A BIG FAMILY AND WE MADE OUR OWN FUN. WE MADE FRIENDSHIPS THAT HAVE LASTED A LIFETIME. BECAUSE THERE IS SOMETHING TO BE SAID FOR LIVING IN. THERE WAS A CLOSENESS. YOU SHARED YOUR PROBLEMS. I THINK THERE IS A GREAT DEAL GOING FOR IT.”- KATHLEEN JOHNSON

2.2.8 SITE HISTORY

Overview

The first incarnation of the Shenton Park Rehabilitation Hospital (SPHR) was established in 1893 on the SPRH site as a quarantine camp to assist in the management of the small pox epidemic. The site was chosen due to its isolation, to control the spread of infectious disease, but equally its relative close proximity to the Perth CBD, in comparison to other sites that were investigated. Development of the site started with the erection of tents to house the sick.

During this time the site was known as the 'Victoria Infectious Diseases Hospital'. The site evolved over time from the tents and rudimentary buildings, to more permanent and appropriate buildings. Construction of Victoria House (A Block) was completed in 1938-9 and was the most substantial building on site at the time.

Following the eradication of small pox and the growing understanding of infectious disease 'germ theory', the site struggled to find a clear purpose and was under constant threat of closure. The hospital found relevance again when it played a critical role in the treatment of polio outbreaks in the 1940's and 50's, as well as a role in treatment of wounded soldiers from both the Great War and the Second World War.

A paraplegic unit was established in the 1950's, and by the 1970's, the 'Royal Perth Rehabilitation Hospital' had established a record of success in orthopaedics, paraplegia and quadriplegic rehabilitation, led by Sir George Bedbrook,

who received his knighthood for his ground-breaking work in the field. This world-best practice was undertaken within the Sir George Bedbrook Spinal Unit building (more commonly known as G Block), which remains on the site today.

Throughout this time, the setting of the hospital in a heavily vegetated bushland setting has been a critical factor in its operation. Initially through necessity due to the need for separation during the isolation phase, however, over time it became an integral part of therapy and rehabilitation. There became an understanding of the notion of open space, garden setting, light and fresh air being therapeutic and of assistance in the healing process. The current configuration of the hospital is strongly linked to this understanding, with the development of building based around courtyards to maximise the number of rooms that have an outlook and connection with the natural environment.

The final use of the site was as a rehabilitation hospital, run as an annexure to Royal Perth Hospital. Associated medical, teaching and institutional uses are also conducted on the site, including several buildings occupied by the Curtin University Research Institute. The hospital closed in 2014, when all functions were moved to Fiona Stanley Hospital.

Overview

The following pages provide a pictorial overview of the evolution of the Montario Quarter project area. Refer State Heritage Register and the Montario Quarter Heritage Brochure.

Top: Royal Perth Rehabilitation Hospital (RPRH) Date unknown. (Source: RPH Museum, 2017).
Bottom: Shenton Park Rehabilitation Hospital (Source: TPG, 2017).





Figure 4 Aerial 1953 (source: LandGate)



Figure 6 Aerial 1974 (source: LandGate)



Figure 5 Aerial 1965 (source: LandGate)



Figure 7 Aerial 1979 (source: LandGate)

- 1893 – Smallpox epidemic in Perth.
- 1894 – Victoria Hospital (Infectious Diseases Hospital) established.
- 1917 – Major outbreak of scarlet fever in Perth.
- 1919 – Major outbreak of spanish flu.
- 1938 – New Infectious Disease Hospital building opened.
- 1942 – Wards reconitions to accommodate the wounded from WWII.
- 1948 – First of a series of epidemics of polio in Perth.
- 1954 – Establishment of paraplegic unit.
- 1962 – Thorburn House opened providing additional accommodation for nurses.
- 1963 – Sir George Bedbrook Spinal Unit (G Block) opened.

TIMELINE

Figure 8 Timeline



Figure 9 Aerial 1981 (source: LandGate)



Figure 12 Aerial 1995 (source: LandGate)



Figure 10 Aerial 2011 (source: LandGate)



Figure 11 Aerial 2017 (source: Nearmap)

1966 – Official change of name to 'Royal Perth Rehabilitation Hospital'.

1969 – Quadriplegic Centre opened.

1980 - 2014 - Site becomes Annexure to Royal Perth Hospital, used for medical, teaching and institutional uses and housing Curtin University's Research Institute.

2000 - Administration and Wards Block and the Paraplegic Block are State Heritage listed

2014 - Hospital is closed and patients relocated to Fiona Stanley Hospital

2017 - Demolition and Redevelopment begins

TIMELINE

2.2.3 HERITAGE

Indigenous Heritage

A desktop aboriginal heritage study has been undertaken for the site. This report identified that no state registered sites have been identified in the project area.

European Built Heritage

A number of sites of heritage significance and value have been identified across the project area. This includes not only structures, but places of value and a wider curtilage that provides context and establishes the cultural significance of the site.

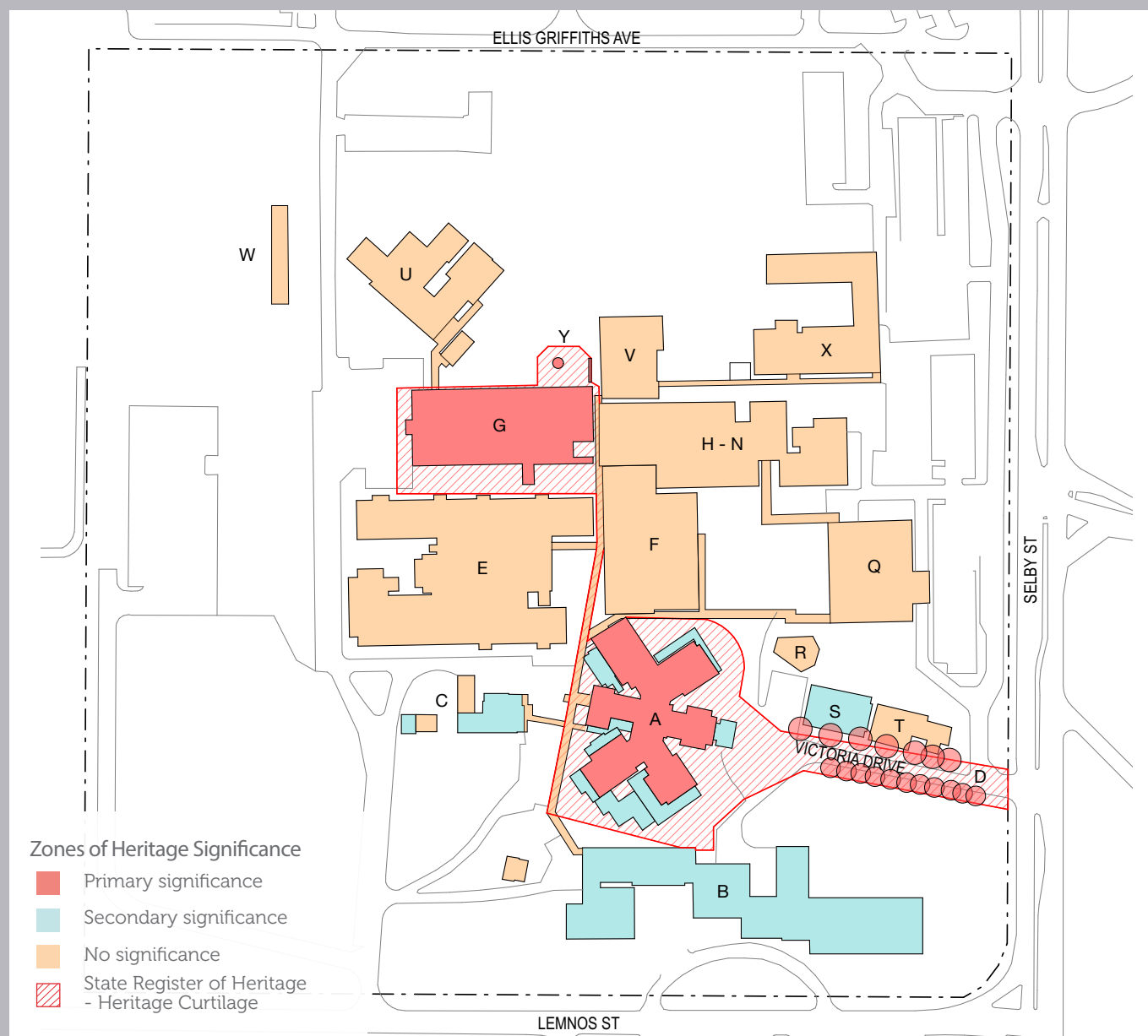


Figure 13 Built Heritage (plan courtesy -Heritage and Interpretation Framework (Palassis Architects 2014))

Landscape Heritage

This site contains both a number of heritage listed trees framing the entry to Victoria House and a number of areas of vegetation and remnant native trees that have been identified as significant. This significance has been determined by cultural, environmental or aesthetic values and has been informed by community consultation and professional assessment.



Figure 14 Landscape Heritage

2.2.4 LANDFORM AND VIEWS

The site generally rises from east to west with varying degrees of slope. A clear ridge line runs north south parallel to the western boundary and along Lemnos Street. A secondary ridge line forms around the former Royal Perth Hospital structure encompassing this structure. The highest point along the western boundary offers opportunity for views to the city skyline.

2.2.5 VEGETATION AND BUSHFIRE

The remnant bushland to the west of the site is identified as classifiable under the Bushfire Regulations. Its size combined with the proximity of other remnant bushland areas require ongoing management practices to be implemented to minimise risk to existing and new residents.

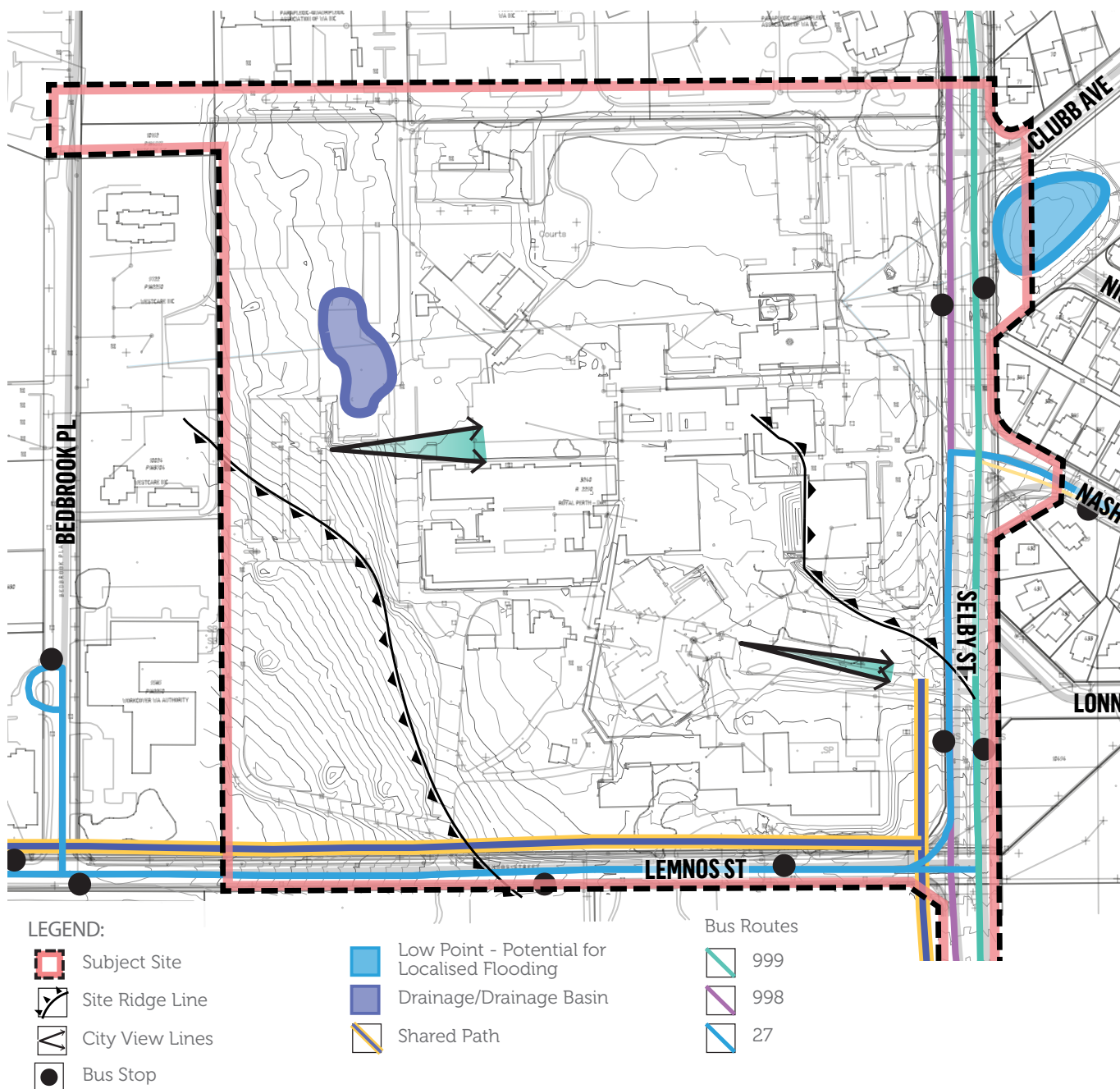


Figure 15 Existing Landform and Access

IN A DRYING CLIMATE, BUSHFIRE RISK IS INCREASINGLY CONCERNING COMMUNITIES. CREATING AN EFFECTIVE BALANCE BETWEEN ECOLOGICAL OBJECTIVES AND COMMUNITY SAFETY IS A KEY DESIGN CONSIDERATION



Figure 16 Bushfire Prone Vegetation

2.2.6 EXISTING SERVICES

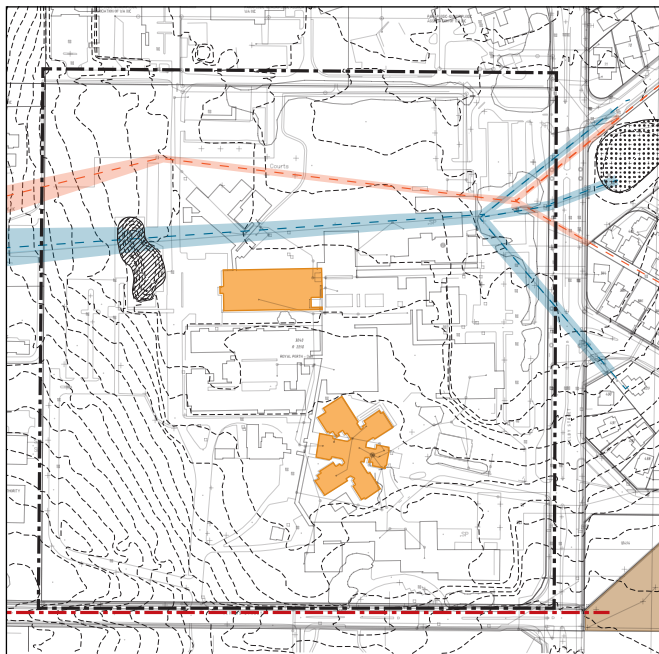
A number of existing service easements run across the site, creating a number of corridors that impact the urban design and distribution of land uses.

POS and roads have been located on these easements where feasible. Planting, structures and services may be restricted within these areas and direction should be sought from the relevant agency during design.

2.2.9 GROUND WATER

Groundwater levels are approximately 5m BGL falling across the site to the south west, and as such infiltrated stormwater will permeate through soils before interacting with groundwater. It is not considered necessary to manage water quality extensively.

The site lies within the Perth groundwater area in the Perth North Confined and City of Nedlands subareas. A groundwater license (License No: GWL18067(1)) for 18750 kL from the Perth – Superficial Swan aquifer in the City of Nedlands sub-area is currently held for irrigation of 2.5 Ha of the site



LEGEND:

- Powerlines
- Stormwater Easement
- Sewer Easement
- Transformer Site

Figure 17 Existing Services



LEGEND:

- WaterCorp Piped Drain
- Min. Groundwater Contour (DOE,2004) (m AHD)
- Max. Groundwater Contour (DOE,2004) (m AHD)

Figure 18 Ground Water Contours (source: Essential Environmental 2015)



Shenton Park Rehabilitation Hospital Therapeutic Garden Mosaic.
Photo - Urbis 2014

2.3 LANDSCAPE MASTER PLAN

The master plan has been designed based on the contextual parameters defined in this report. Given the sites rich history, the heritage built form within the site plays an important framing role and contributes to the sites identity. The former use of the site as a place of healing has also been important in establishing themes that have directed the design of the public open spaces.

As the site is within walking distance of a train station there has been an emphasis on alternate modes of transport and pedestrian and cycle links across the site have been considered to maximise connectivity. Building location has been carefully considered to ensure that these movements are prioritised and connect internally and externally.

LEGEND

- 1 Linear Parkland connected to Charles Stoke Reserve enabling green walk between site, Jolimont Primary School and Subiaco Town Centre.
- 2 Intersection upgraded to roundabout in accordance with MRWA requirements.
- 3 Landmark building. Mixed use (commercial/residential).
- 4 Improved pedestrian environment along Selby Street, linking the site, local centre and train station.
- 5 Retained heritage listed buildings.
- 6 Retain existing Heritage Entry and frame views to Victoria House.
- 7 'Community Green' - community orchards, events etc.
- 8 'Shared Space' forming link between retail site and community green.
- 9 Heritage Walkway connection.
- 10 Main entry road.
- 11 Slow speed, pedestrian oriented road, that connects the site to its heart at the community green.
- 12 Remnant bushland retained and enhanced in accordance with DFES requirements, with provision for pedestrian access through to Bush forever sites to north and south.
- 13 Natureplay zone.
- 14 "Shared Space" plaza at linear POS crossings.
- 15 Pedestrian accessway connecting Lemnos Street to Victoria House (possible retention of existing trees).
- 16 Pet exercise area incorporated into bushland environment.
- 17 Parkland West - 'Urban Forrest' linear POS incorporating reflective spaces, interpretation and storytelling.
- 18 Parkland East - 'Recreation' POS with a focus on play, casual recreation and fitness.
- 19 Existing green space retained and upgraded.
- 20 Urban Orchard opportunity



Figure 19 Master Plan

2.4 MASTER PLAN LAYERS

2.4.1 PEDESTRIAN CIRCULATION

A range of pedestrian movements are expected across the site to connect people to services internally and externally. Pedestrian circulation within the site has been identified in regards to high, medium and low priority routes. These routes relate to the topography of the site to ensure that priority routes limit the amount of elevation change for pedestrians. These routes have also been considered in relation to proximity to activated uses and active streets to establish routes that will function over a 24 hour cycle rather than just during the day. These high frequency routes can help identify where additional footpath width, lighting and street treatment is required in the public realm.

- High volume pedestrian routes connecting to the destinations such as the nature play, the retail hub and to the train station have been prioritised. It is anticipated that these would attract use across a range of hours and the streets should reflect this volume and use.
- Medium volume pedestrian routes primarily connect uses and users internally. These routes are primarily active during the day and offer permeability across the site
- Low volume pedestrian routes are primarily used as direct access for the specific users. These routes will generally not attract users, other users or through traffic.



Figure 20 Pedestrian Circulation

2.4.2 CYCLE CIRCULATION

Another focus of the site will be on its connections to the surrounding cycle network. A commuter cycle link connects the site to the Shenton Park train along Shelby Street and the site engages with this commuter link connecting it to the station. Additional recreation cycle routes have been identified within the site to engage with and activate the site. With the low speed nature of the streets within the project, the site is an ideal location for cyclist of all abilities.

Commuter Links – the main commuter cycle link is located down Selby Street connecting to the Shenton Park Train Station.

Recreation Links - Recreation cycleways link to internal destinations of the retail hub and nature play site. There are also connections to the wider community via these links.

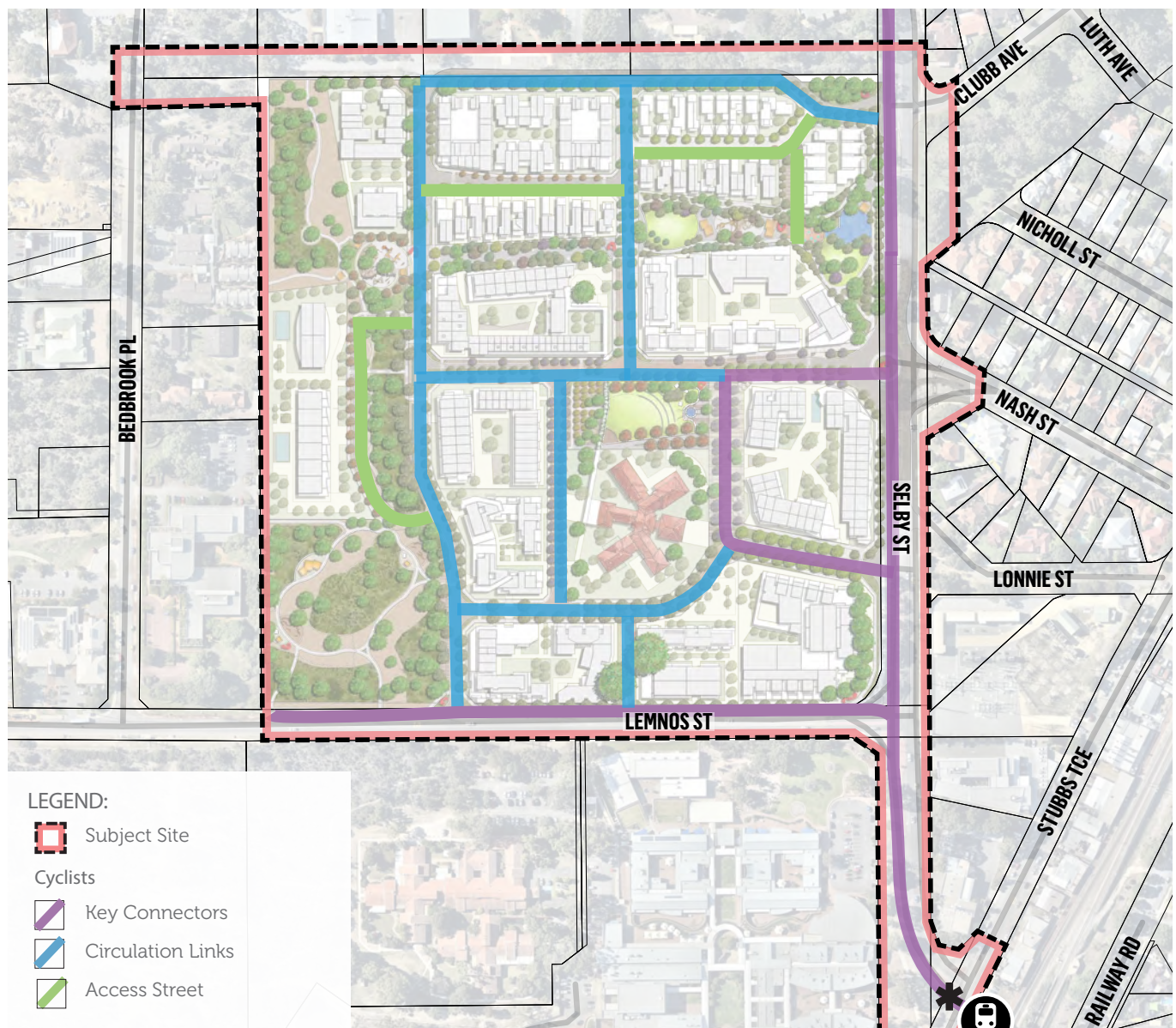


Figure 21 Cycle Circulation

2.4.3 VEHICLE CIRCULATION

Pedestrians have been prioritised to ensure that it is easier to walk to a local destination than it is to drive. With this in mind, vehicle use across the site has been carefully designed to ensure efficiency but also to encourage lower vehicle speeds. Internally, vehicle movements are intended to be locally focused for residents and employees, with the exception of the road system surrounding the retail land uses. Clear delineation on the hierarchy of the roads is assisted through treatment of the surround public realm.

Key Connectors

These key connectors primarily frame the site and consist of Selby and Lemnos Streets. The retail hub will attract external users and the circulation around this is therefore considered a key connector. These roads should accommodate dedicated pedestrian and cycle movements as well as vehicle movements. The internal loop will accommodate a volume of traffic but be designed for lower speeds due to its limited length and the adjacent land uses.

Circulation Streets

Circulation streets exist primarily to accommodate vehicular traffic within the site. These will primarily be used by residents and workers. These roads will be pedestrian focused and will be designed for a lower speed limit. Shaded trees and articulated edges will be key features to enhance the pedestrian environment.

Access Links

The access links are primarily used to access individual sites and will accommodate little through traffic. These streets will accommodate a shared experience sometimes blending pedestrians, cyclist and vehicles. These streets will encourage lower speeds. The street arrangement will be designed to ensure appropriate interfaces with the buildings and promote a residential character.

2.4.4 BUILT FORM

Built form across the site has been considered in regards to how it presents to the street, overshadowing impacts and integration with existing heritage structures. The design guidelines control the massing and scaling of the buildings. The design guidelines are informed by the guiding principles established in the public realm design guidelines and present a range of setbacks to the street edge in consideration of anticipated view corridors, expected street planting and tree lines, level changes across the site and maintenance requirements.

2.4.5 PUBLIC OPEN SPACE

Public open space areas across the site have been identified in regards to their role and function. The function of the space has been carefully considered based on the surrounding land uses to ensure that there is a high level of compatibility. For example playgrounds have been located with good access and natural surveillance from residential uses. Slower and more tranquil uses are located in narrower connecting spaces to ensure minimal noise impacts on adjacent uses. The natural bushland serves as both a buffer and as an active area that could double as a dog exercise park.

2.5 THEMES

2.5.1 OVERALL THEMES

Based on the project objectives, site assets and site history, the following structuring themes have been developed for the precinct:

- Nature – Leverage existing natural assets to the benefit of individuals, environment and future generations. Integrate pocket public spaces into bushland for activities such as pet exercise and nature play. Keep lookouts as communal space and destinations for hiking and picnics.
- Reflect – Contained and intimate spaces enabling self-discovery and quietude. High quality detailing and refinement that integrates local stories can become a connection between locals and the place history.
- Activity - Family focussed activities are centred around sheltered outdoor dining, protected spaces for children and support infrastructure for social recreation. Healthy lifestyles focus on physical recreation, social interaction and physical comfort. Activity is primarily focussed on self-sustaining daily activity.
- Community - Creating a place where the local community is engaged in the ownership and development of culture and a sense of place. Flexible public areas that facilitate small and large events.
- Connect – Make walking easy. Intuitive wayfinding and physical and psychological comfort reflected in material detailing, scale, vehicle separation and a sense of enclosure. Streets designed to create low speed environments.
- While these themes are holistically incorporated across the site, the following diagram represents an intensity of focus around this theming.



Figure 22 Structuring Themes

2.5.2 PRECINCT THEMES

Although the site has been broken down into character precincts, the design intent is for the site to have a strong, holistic landscape character, with an overall palette of plants, materials and furniture. Generally, the intent is for details to compliment the mature landscape. Precincts will have minor changes to the overall palette to articulate and reflect the nature of each precinct. This will be most evident in the heritage precinct.

Woodland

RESIDENTIAL BUILDINGS SET WITHIN AN ESTABLISHED WOODLAND CORRIDOR.

This precinct includes areas of established Banksia/Jarrah woodland. The landscape design within this precinct will promote the woodland as a destination and attraction for the community with a focus on ecology, nature play, education and rehabilitating pockets of quality remnant vegetation. There will be access through the woodland with clearings, viewing sites and walking trails, positioned to occur in existing degraded areas where possible. Landform in the woodland will be retained, providing spectacular views of the city from elevated positions.

Heritage

THE COMMUNITY HEART CELEBRATING THE HERITAGE OF THE SITE THROUGH MATERIALS, LANDSCAPE AND INTERPRETATION.

This precinct sits at the heart of the development and includes the heritage listed Victoria House. The precinct is intended to provide the key community gathering space, with a relationship to both Victoria House and the proposed commercial/retail centre. The central open space includes an established landscaped courtyard and mature trees surrounding Victoria House. Planting is a mix of exotic and native and this theme will be continued with new planting. Heritage interpretation will be focused in this precinct with materials reused from the site within landscape features. The community park will be the main gathering space for visitors to the precinct.

Parkland

RESIDENTIAL FOCUSED PRECINCT CENTRED AROUND A LINEAR GREEN SPINE

The linear open space in this precinct will reflect the long term evolution of the site with a duality of parkland environment contrasted against a more urban landscape, with the retention of mature native trees. Flexible areas will be provided for informal activities such as yoga or boot camp. Planting will be native and informal. The parkland precinct will connect the local community to the Subiaco parkland along the Charles Stokes Reserve. This parkland will also have a focus on recreation and wellness, embedding the sites historical focus on health and rehabilitation into the parkland.

Linkage

A CONNECTED PRECINCT WITH LINKS TO TRANSPORT, NATURAL AMENITY AND COMMUNITY PARK

This precinct will be predominantly built form, with a focus on retaining and enhancing perimeter vegetation. Landscape within the Linkage precinct will provide a higher density visual buffer to and from Shenton College. The Selby Street streetscape will be improved to support pedestrian movement to and from the train station, detailed in line with CPTED guidelines. The fig tree grove off Lemnos street will be incorporated into development sites, with an incorporated public access way.



LEGEND:

- Woodland
- Parkland
- Heritage
- Linkage

Figure 23 Precinct Themes



Interpretive



Integrated



Temporary



Stand-alone

2.5.3 PUBLIC ART

Public art is itself a legacy for the community, a communal benefit that reflects the values of a certain time and place. Public art can therefore contribute to place through providing unique interpretations, effecting social engagement, and through contributing to sustainable development generated through this special creative endeavour.

In identifying opportunities for public art at Montario Quarter, a wide range of contemporary public art practices have been identified. These cover a broad range of options for artists to interact with the built and natural environment across Montario Quarter. This includes options for the integration of artworks into the fabric of buildings and urban infrastructure of all types. Integrated artworks will, in many cases, result from collaboration between artist and architect, urban designer or landscape architect.

In addition to the direct interpretation of a place and its history through interpretive signage and commemorative features, there is a role for artworks that creatively explore the site's past and the stories of the community. Artists can be commissioned to create works that, while not addressing history in a didactic form, explore themes of relevance to local histories.

Increasingly artists are seeking opportunities to intervene in public spaces through temporary public art projects that might be in a place for a few days, or months, depending on the nature of place and project. In many cases these temporary projects will result from an artist initiating the idea, rather than it being directly commissioned by the client.

Public Art at Montario Quarter can be classified as:

Integrated – commissioned artworks that are an integral part of a streetscape or building project and involve a collaborative process.

Stand-alone - commissioned site specific sculptural works that are not directly integrated into buildings or streetscape projects.

Temporary/Ephemeral - artworks either commissioned or artist initiated that are of a short term nature that interact with or activate a place.

Interpretive – commissioned artworks that conceptually allude to or directly reference past events or stories associated with place.

Public art at Montario Quarter should build a meaningful connection to place, its people and its heritage. An opportunity for community learning and cultural exchange, public art that integrates and explores local stories can become a discussion point and connection between locals and with visitors.

Aims and Benefits

Public art provision to Montario Quarter will be defined by the following objectives:

- Foster a sense of place and enhance the public realm through the integration of high quality public art that responds to the context and history of the site.
- Enhance the appearance, character and value of places through the inclusion of public art and to encourage animated and lively public spaces.
- Ensure public art contributes to creating a unified built form across the Improvement Scheme area.
- Establish best practice in the commissioning of public art in the development process, including a requirement for public art commissions to be undertaken by a professional artist.

Design Guidance

Public art within each of the precincts will explore different aspects of the site and its legacy. Reference should be given to the overarching precinct themes in commissioning of public art.

Woodland: Public art in Woodland can reflect its high position and views out of itself. Look for opportunities to integrate art into buildings and landscapes that showcase natural assets - sky and land. Create landmarks and frame vistas and gateways from city to bush to enhance a sense of discovery and act as a guide. Kinetic installations that celebrate the natural environment and explore our relationship with the natural environment are key opportunities in this precinct.

Parkland: Public art that integrates local stories and alternative viewpoints to challenge and connect locals and the place history. Individual stories, experiences and achievements in the face of adversity to be integrated in public open spaces. Stand-alone sculptural elements provide wayfinding and provide interactive play and recreation opportunities.

Heritage: Public art in the heritage precinct should build a meaningful connection to place, its people and its heritage. Consideration should be given to different voices in the community as a means to evoke the legacy of the site, but also the aspirations of the place.

Linkage: This is a place where art can be experimental, temporary, contemporary and innovative. The scale of the buildings will provide a natural balance to works of any scale. Consider incorporating current youth works to build connections to Shenton College and the broader community.

2.5.4 INTERPRETATION

Interpretive information provides a valuable dimension to the visitor and viewer experience, distinct from the appreciation and experience of contemporary art. Some of the identified artwork opportunities may have no significant relationship to site heritage and interpretation and are focussed on contemporary culture and future aspirations. Similarly, there are sites of historical significance at Montario Quarter which have not been identified as artwork opportunities but which should be considered for heritage interpretation.

Note: This document should be read in conjunction with the Heritage Interpretation Thematic Framework for Shenton Park Rehabilitation Hospital (FMR) produced by Palassis Architects.

A number of items have been salvaged from the site prior to demolition that will be re-used as part of the interpretation opportunities. While not directly informative, these materials and forms will aid in the authenticity and understanding of the sites evolution.

To create a holistic experience and to supplement public art interventions, a series of didactic interpretation trails are proposed to promote education and connection to this unique place. Three trails have been defined, themed as follows:

- Environment – information and celebration of both the existing natural assets and sustainability measures built into the development.
- Rehabilitation – elements that inform and promote physical and mental rehabilitation and wellness.
- Heritage – information providing understanding of the cultural and physical heritage of the place.



Interpretive information in Paving



Interpretive information in Paving



Reclaimed Items



Interpretive Signage



LEGEND:

- Environment
- Rehabilitation
- Heritage
- A Public Art

Figure 24 Public Art and Interpretation



C

TYPOLOGIES

1.0 TYPOLOGIES

Part C: Typologies outlines the design objectives for streetscapes, public/private interfaces and designated POS areas.

1.1 STREETSCAPE TYPOLOGIES

Design Intent

The streetscapes have been designed in coordination with the City of Nedlands to create serviceable, habitable streets that have high functional and aesthetic outcomes. They are an evolution of the design intent expressed in the Improvement Scheme. Each street typology is distinct to itself in terms of its functional requirements.

The streetscape designs promote a low speed environment to encourage pedestrian and cycling emphasis over vehicular use and focus on creating environments that are safe, comfortable and sustainable.



Figure 25 Location Plan

1.1.1 ROAD 1

Road 1 is the main north/south connector through the site. It forms the boundary between the Woodland precinct and other precincts and can be described as where 'nature meets urban living'. The road has 3 typologies, influenced particularly by landform and existing vegetation.

Design Objectives

- The east side of the street to incorporate street tree selections that provide a structured and shaded pedestrian path.
- The western edge to accommodate informal tree planting where bushfire risk permits and retain existing trees.
- Informal parking bays to be located in areas around existing vegetation on the western edge of the road. Car bays are not to impact on or degrade existing vegetation.
- Road pavement to be narrowed to minimise disturbance to significant tree and assist in traffic calming.
- Shared surface to be incorporated, linking the Parkland linear POS to the Woodland precinct.
- Dedicated bicycle and moped parking to be accommodated at strategic locations.

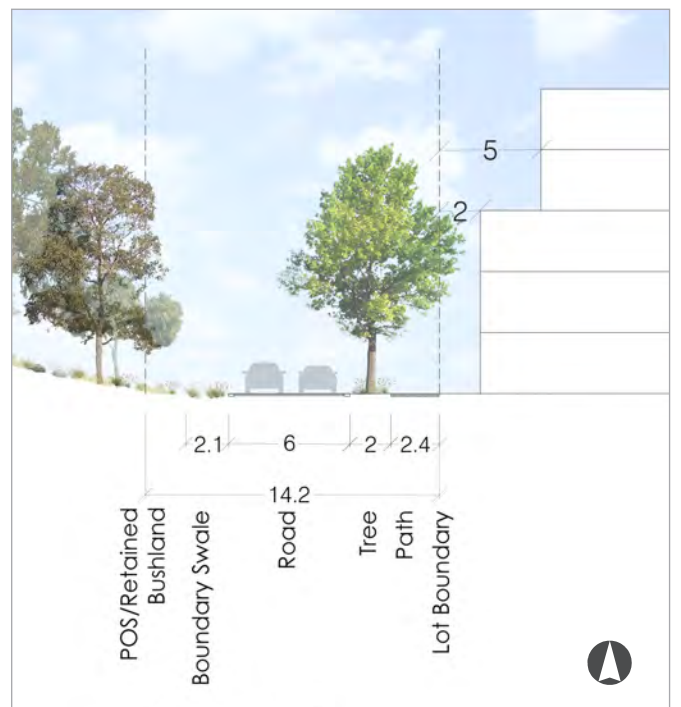
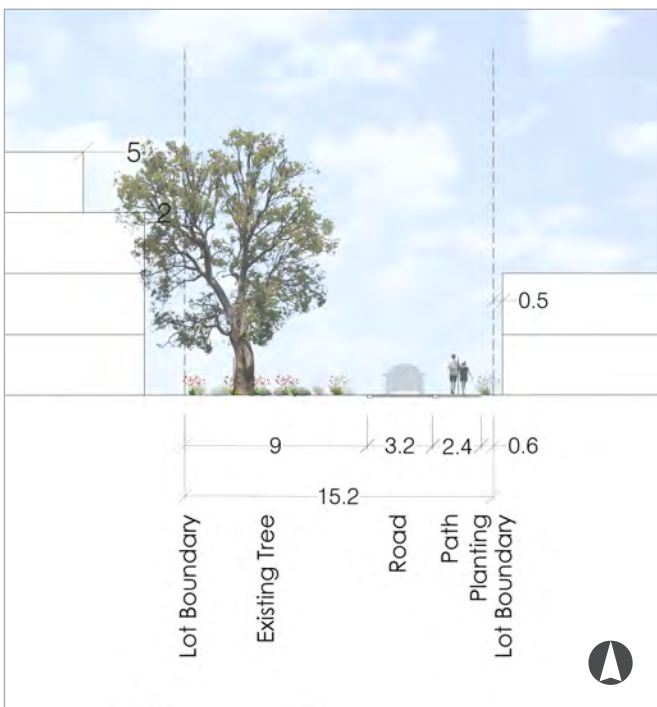
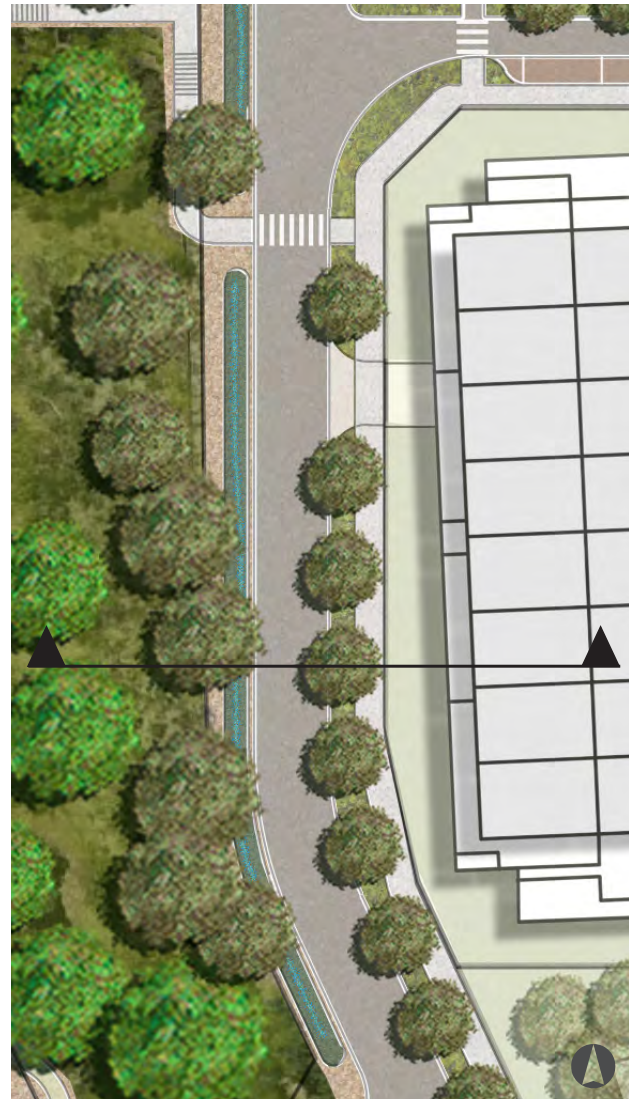


Figure 26 Road 1 Typology 1A

Figure 27 Road 1 Typology 1B



Figure 28 Road 1: Typology 1C



Figure 29 Road 1

1.1.2 ROAD 2

Road 2 is a small road servicing POS frontage lots within the Parkland precinct. This road is a local street and is designed to create a sense of arrival and 'my street' for the few residences it services.

Design Objectives

- Offset road centreline to accommodate visitor parking behind garages.
- Tree species to have broad canopy to provide continuous shade to footpaths and interlocking canopy to provide a sense of enclosure. Consider deciduous species to allow passive solar shading to dwellings.
- Incorporates footpath to the northern side of the street to promote pedestrian movement and minimise crossover conflicts.



Figure 30 Location Plan

Figure 31 Road 2 Typology 2A

1.1.3 ROAD 3

Road 3 is a north/south running street connecting the Parkland and Heritage precincts. It traverses two distinct typologies, moving from single residential scale to medium density. The street also interacts with the heritage listed G-block.

Design Objectives

- Tree species to have broad canopy to provide continuous shade to footpaths.
- Incorporates a distinctive 'shared space' zone promoting east west public open space connections and providing a clear transition between the Parkland and Heritage precincts.
- Incorporates generous footpaths to both sides of the street to promote recreational cycling and pedestrian movement.
- Embayed parking bays located both sides of the street which helps promote a low speed environment.
- Consider change in tree species where streetscape interfaces with POS to act as a threshold and mark shared space.
- Ensure sightlines are not compromised by planting heights at pedestrian crossing points.

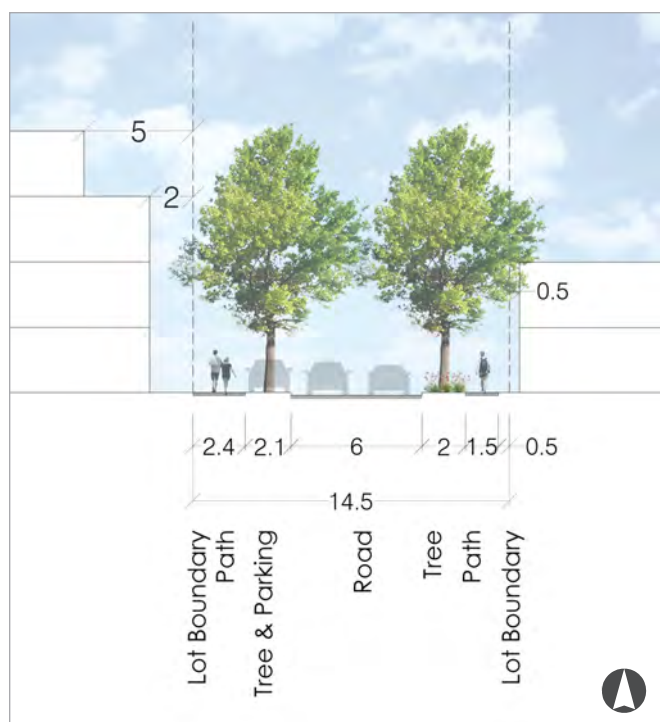


Figure 32 Location Plan

Figure 33 Road 3 Typology 3A

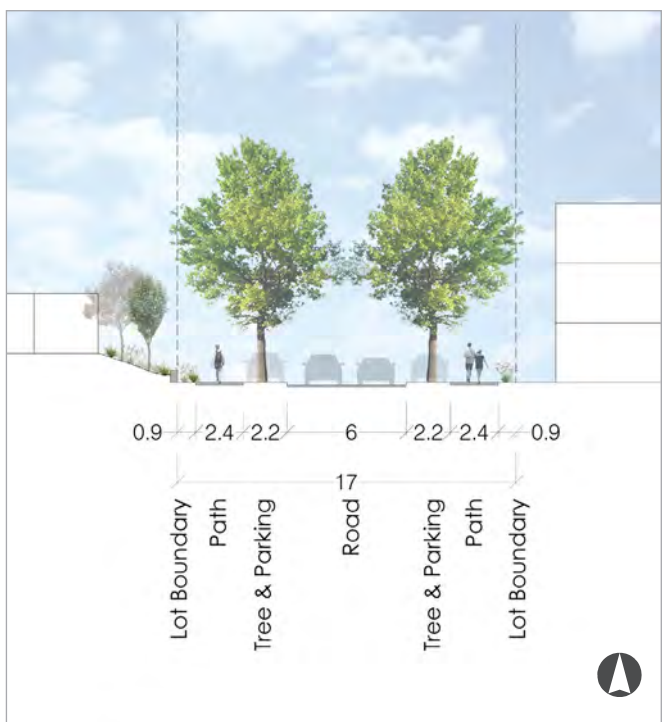
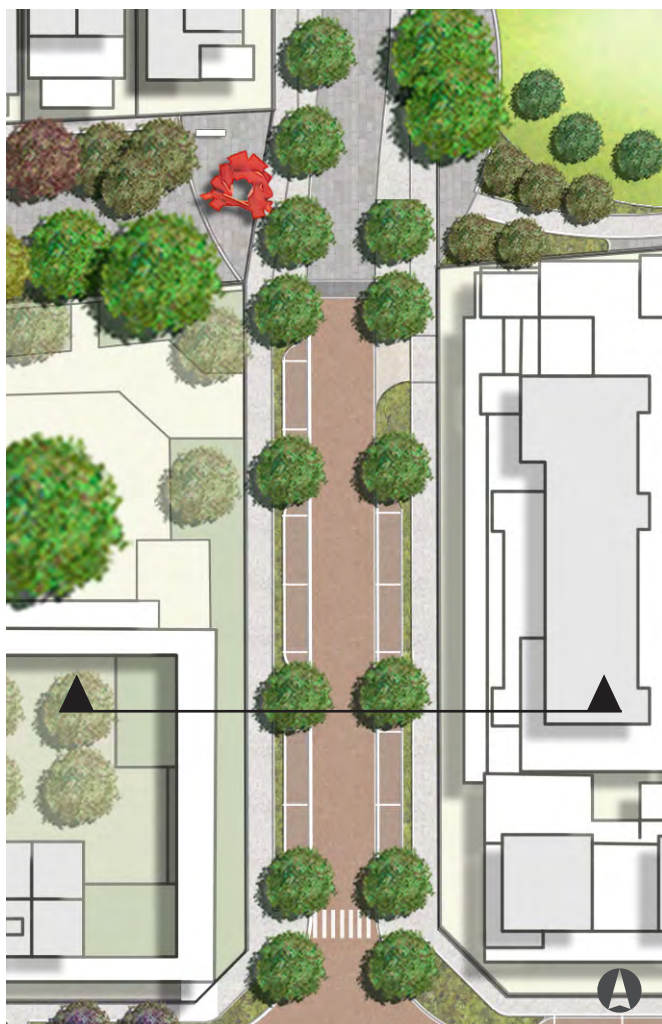


Figure 34 Road 3 Typology 3B



Figure 35 Road 3

1.1.4 ROAD 4

Similar in character to Road 2, Road 4 services lots within the Parkland precinct. This road is a hybrid lane/local street and is designed to create a sense of intimacy and 'my street'.

Design Objectives

- Offset road centreline to accommodate visitor parking behind garages.
- Large deciduous tree species to the north edge of the road have broad canopy to provide continuous shade to roadway and passive solar shading to dwellings.
- Small tree species to southern verge. Consideration to fruiting species.
- Designed as a shared space, accommodating parking and pedestrian movement.

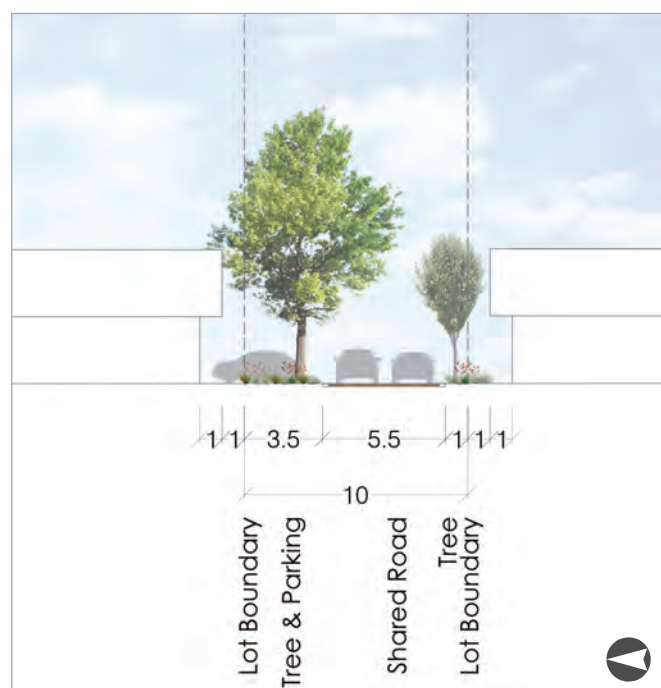
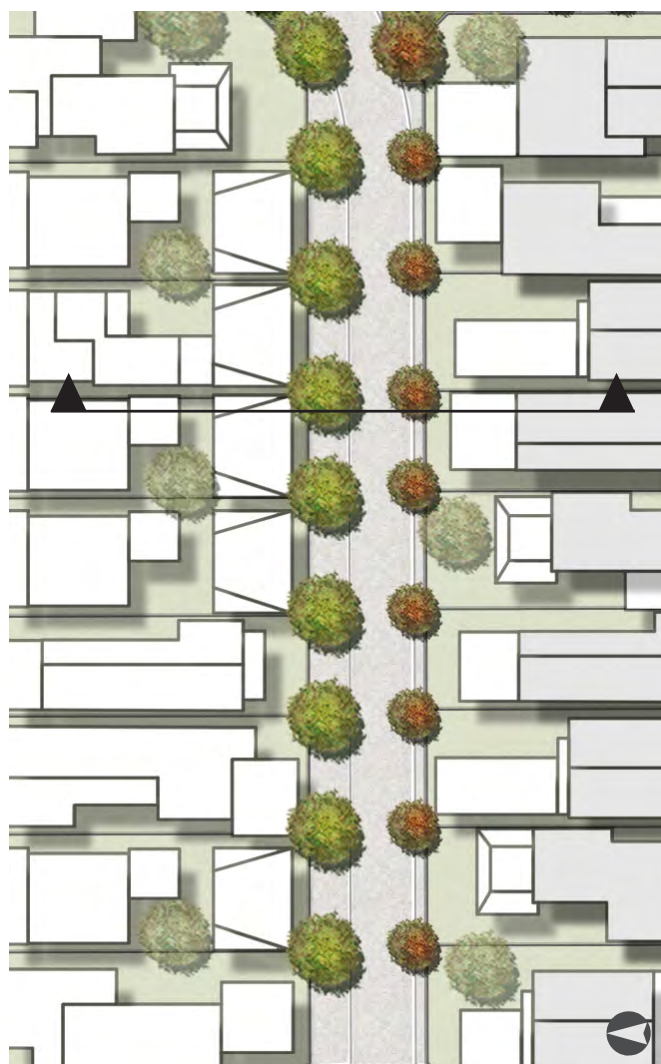
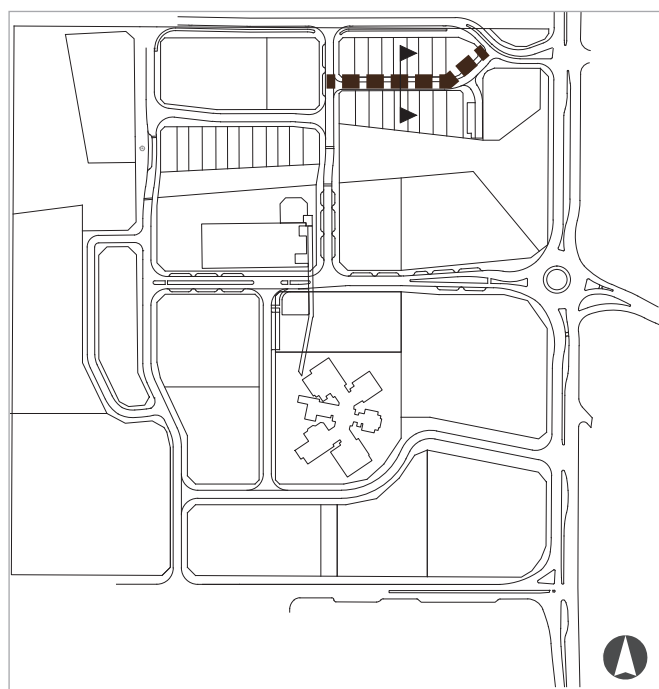


Figure 36 Location Plan

Figure 37 Road 4 Typology 4A

1.1.5 ROAD 6

Road 6 is to be a refined, high quality street with 'main street' characteristics. It is the primary entry road into the development and sets expectations of quality and experience for both pedestrians and road users. Road 6 has two distinct typologies that aid to wayfinding and define the heart of the heritage precinct.

Design Objectives

- Landmark, significant tree transplants that reflect building scale and mark the main entry.
- Additional supplementary street tree selections that provide significant shading to the street.
- Has parking bays located both sides of the streets at the west and eastern ends that is integrated between street trees, planting and dedicated furniture/bicycle parking/moped parking zones.
- Maximises opportunities for branding/creating sense of arrival through use of banner light poles and additional customisation of standard furniture selections.
- The streetscape should have a distinct feel and scale upon entry that promotes a pedestrianised environment, and assists with minimising vehicular speeds.
- Changes in the spatial quality and road arrangement along its length will contribute to lowering vehicle speeds, aid wayfinding and create distinctive changes in the journey, adding interest.

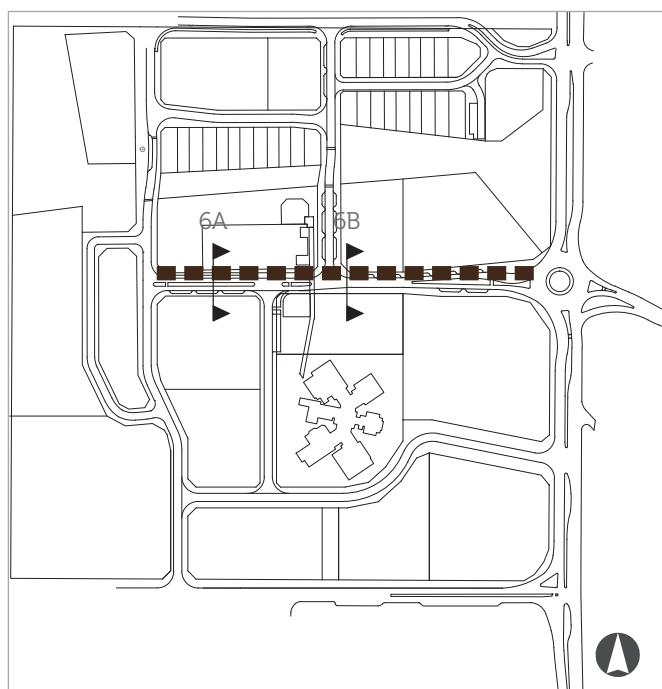


Figure 38 Location Plan

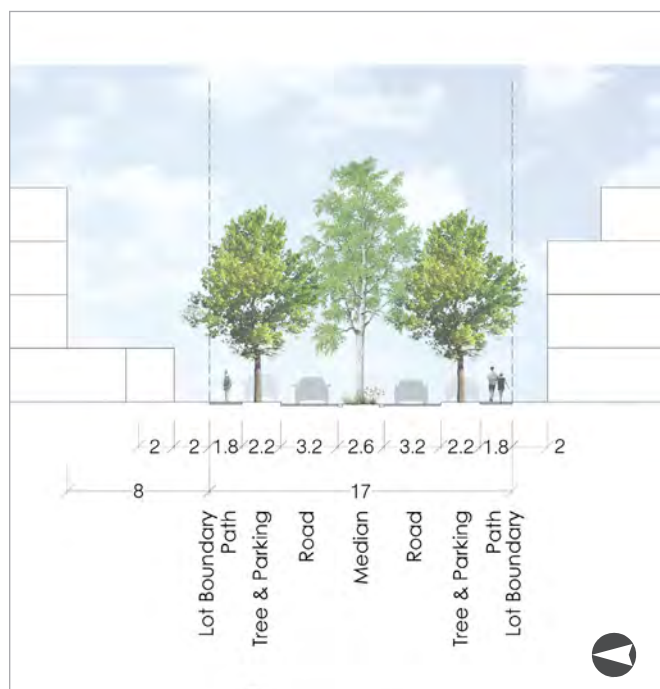
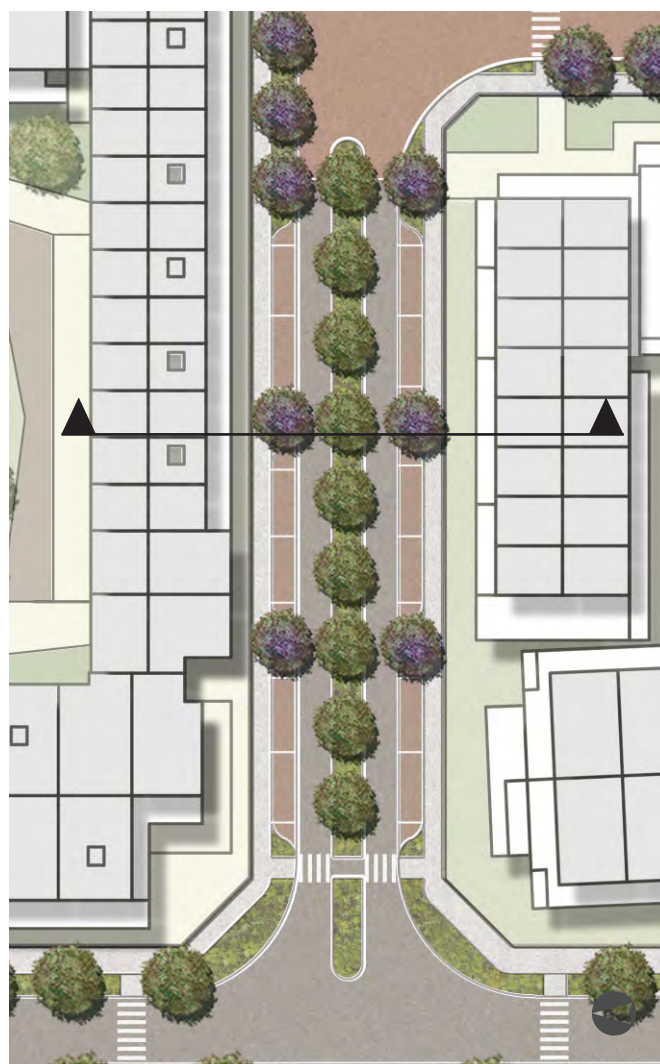


Figure 39 Road 6 Typology 6A



Figure 40 Road 6 Typology 6B



Figure 41 Road 6

1.1.6 ROAD 7

Road 7 provides vehicle access to the heritage listed Victoria House. This road is a urban lane/local street and is designed to create a sense of intimacy and promote pedestrian use.

Design Objectives

- Large tree species have broad canopies to provide continuous shade and an interlocking canopy to provide a sense of enclosure.
- Paving to both sides of the road to facilitate pedestrian movement.
- Potential to create a 'shared space' street.



Figure 44 Location Plan



Figure 42 Road 7 Typology 7A

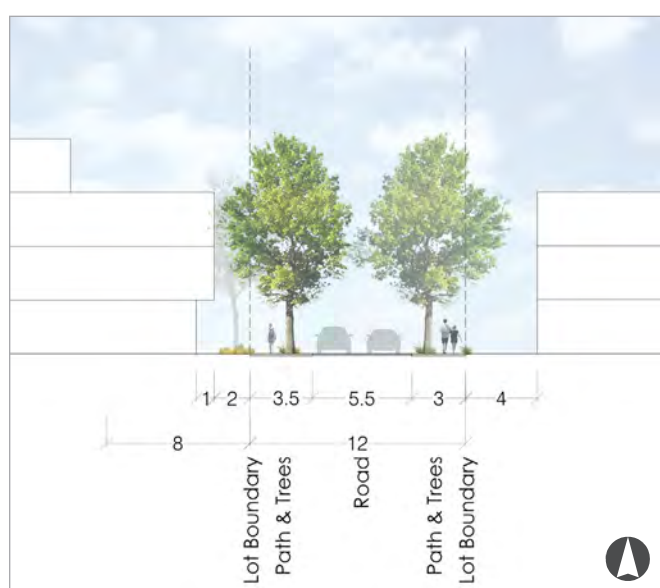


Figure 43 Road 7 Typology 7B

1.1.7 ROAD 8

Road 8 has 2 distinct typologies. The first typology is heavily informed by the existing heritage listed street tree avenue of Queensland Brush Box (*Lophostemon confertus*) and the existing road alignment will be retained. This avenue then transitions into the second typology which draws on the surrounding local context to establish a distinct street environment, synonymous with Shenton Park.

Design Objectives

- Generous verges surrounding heritage trees to ensure protection and longevity. Footpaths to be incorporated near lot boundary to minimise potential impacts.
- Footpaths to both sides of the road to facilitate pedestrian access.
- Yield Street typology along the western part of the road to maximise parking, increase pedestrian separation and maximise tree planting
- Yield Street typology utilised as part of heritage precinct.
- Large tree species have broad canopies to provide continuous shade and an interlocking canopy to provide a sense of enclosure.

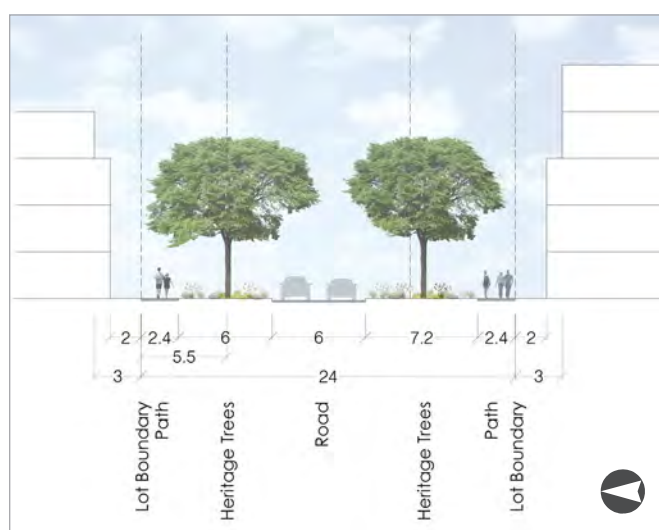
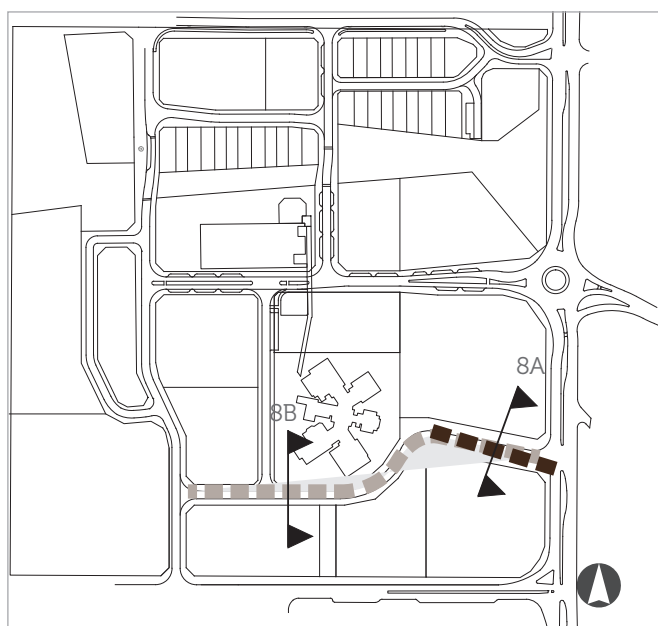


Figure 45 Location Plan

Figure 46 Road 8 Typology 8A

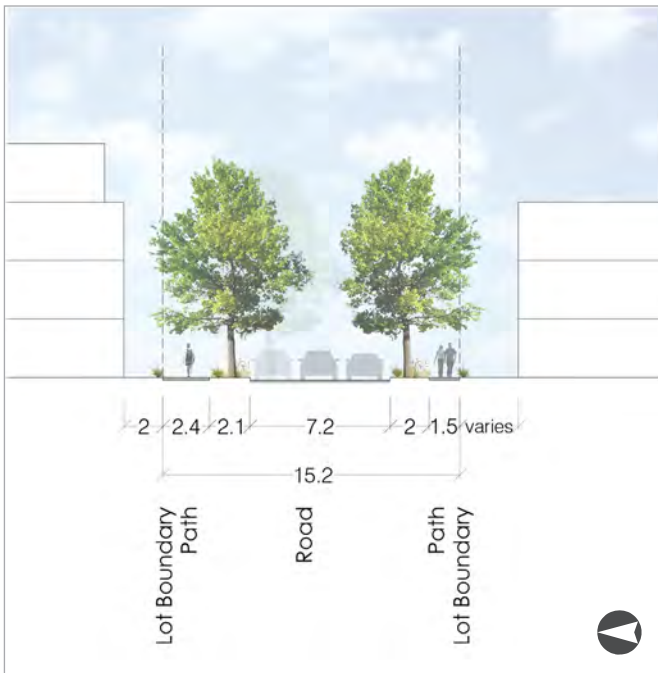


Figure 47 Road 8 Typology 8B



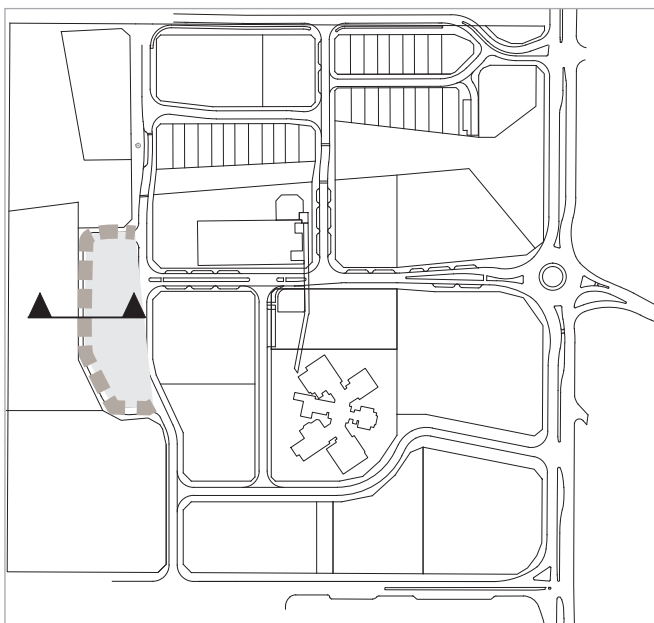
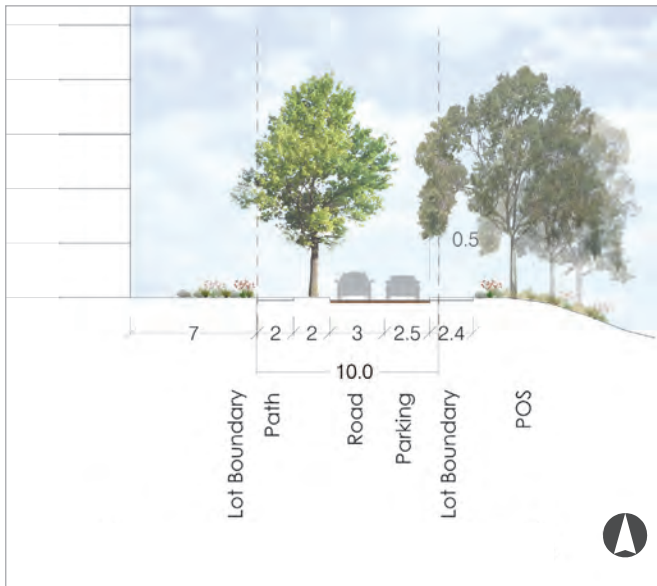
Figure 48 Road 8

1.1.8 ROAD 9

The primary function for Road 9 is as an access to Block 7. This road is designed to create a sense of intimacy and the feel of a small local street. The entire road is located within the Woodland precinct.

Design Objectives

- Provide a natural setting experience on access to the residences.
- The road segments retained bushland and serves as part of the bushfire separation for Block 7.
- The footpath connects to the road but utilises less steep edges on the approach.



1.1.9 SELBY STREET

Selby Street has four distinct typologies, informed by the existing landform and trees. While an existing road, Selby Street is the primary connector to the Shenton Park train station from Montario Quarter and must provide a comfortable and safe pedestrian experience along its length.

Design Objectives

- Generous footpath to support both pedestrian and cyclist use.
- Footpath between Nash Street and Lemnos Street to be located on lot boundary enabling pedestrian separation from the roadway.
- Additional tree planting in verge where possible.
- Footpath between Nash Street and Ellis Griffiths Drive to be relocated within adjacent POS.
- Inclusion of seating/furniture between Montario Quarter and Shenton Park train station.

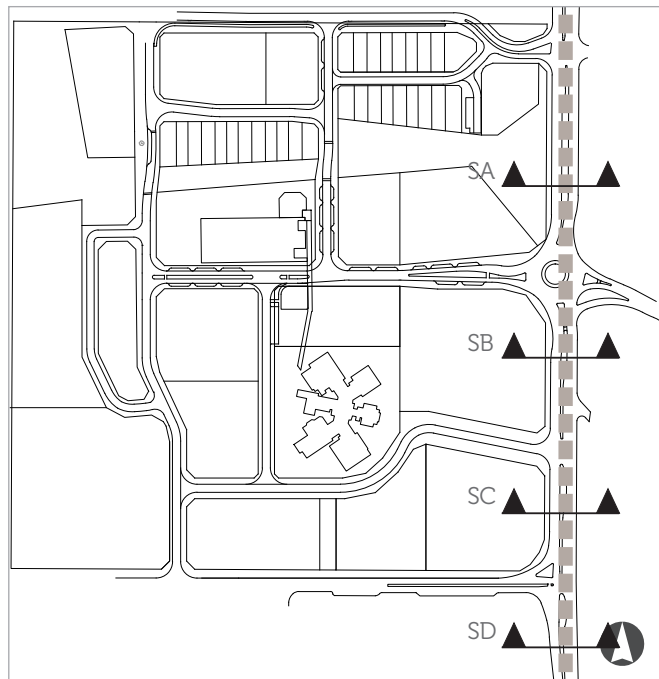


Figure 49 Location Plan

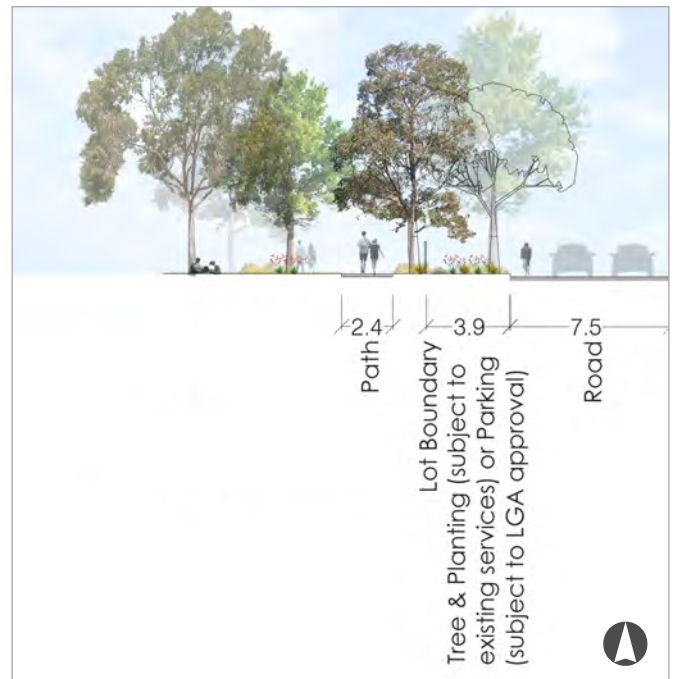
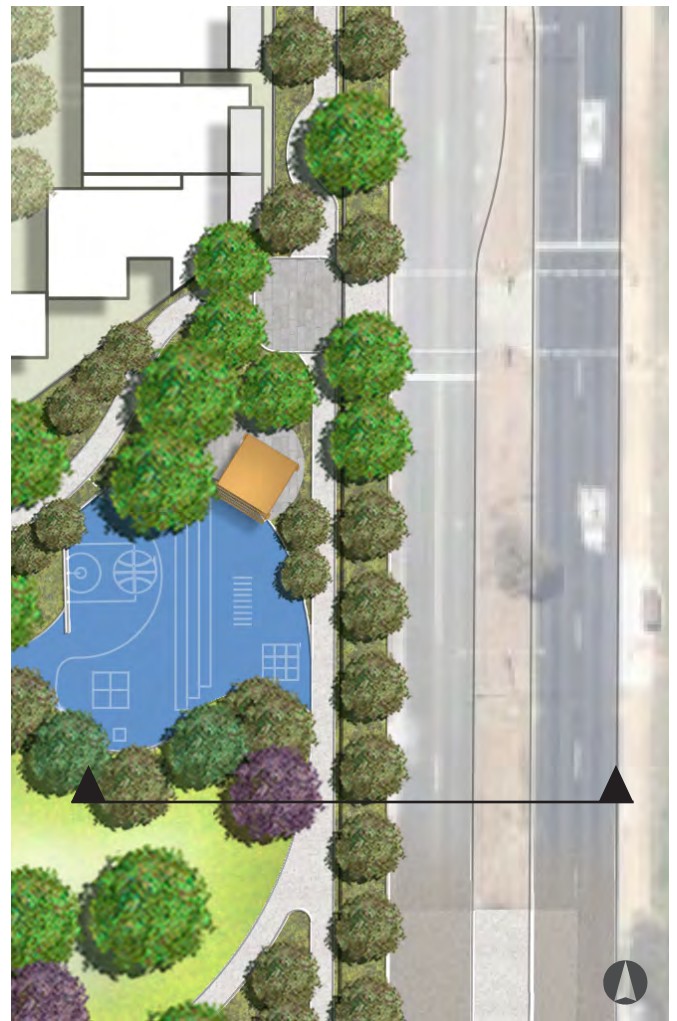


Figure 50 Selby Street Typology SA

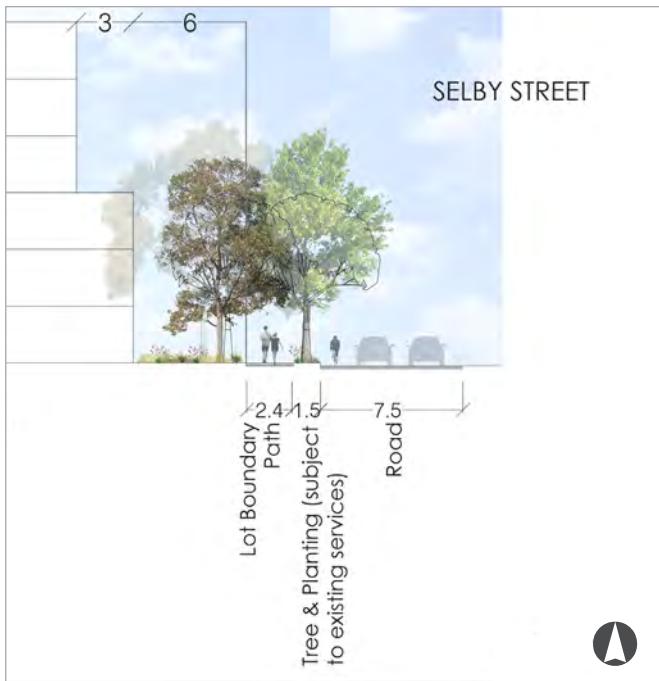
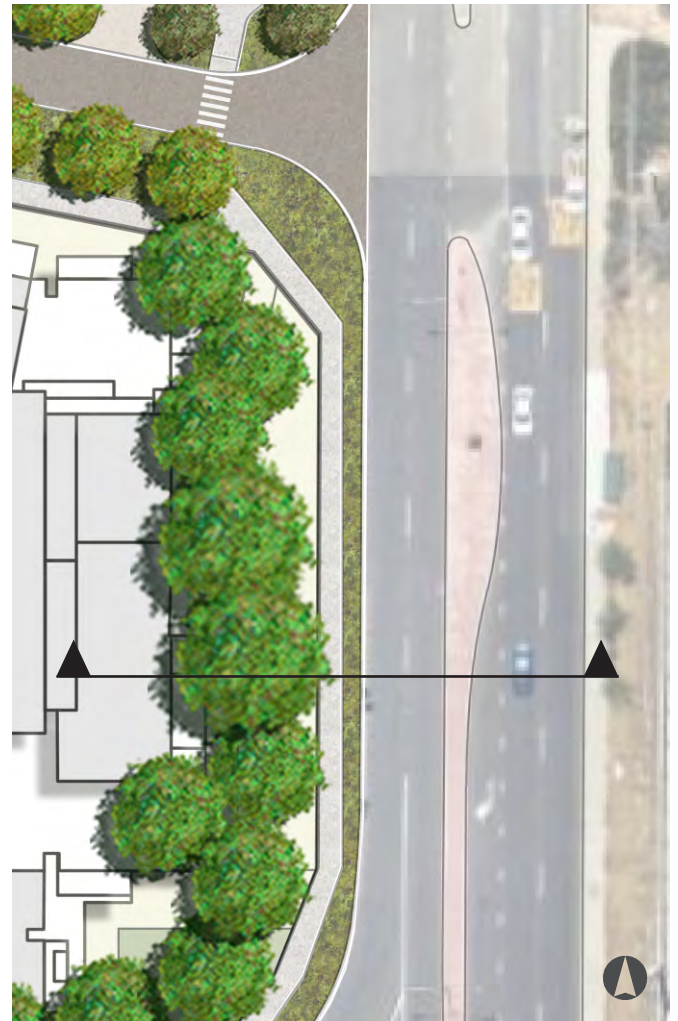
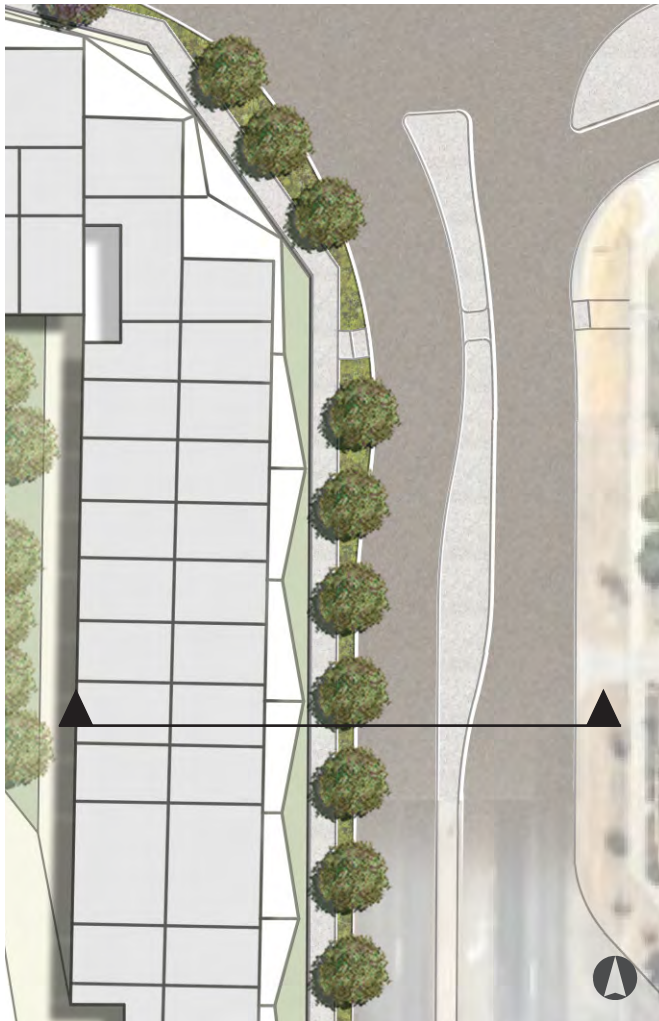


Figure 51 Selby Street Typology SB

Figure 52 Selby Street Typology SC

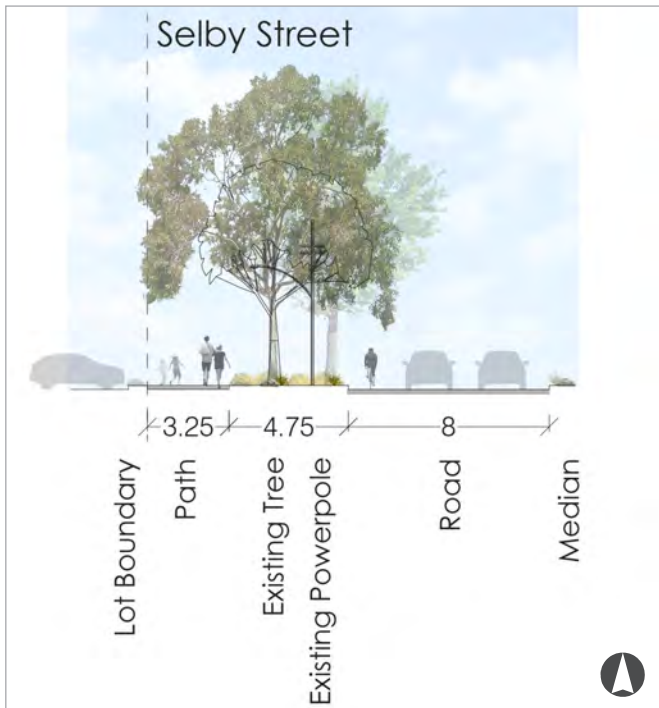


Figure 53 Selby Street Typology SD



Figure 54 Selby Street

1.1.10 LEMNOS STREET

Lemnos Street functions as a secondary pedestrian connector on the edge of Montario Quarter and is constrained by overhead powerlines and sensitive adjacent landuses.

Design Objectives

- Site topography to be addressed through the adjacent lot.
- Additional planting to be provided within the road reserve at 8m spacing to provide continuous canopy.
- Generous footpath to support both pedestrian and cyclist use.
- Footpath to be located on lot boundary enabling pedestrian separation from the roadway.
- Shrub planting in verge under powerlines.
- Increase building setbacks to accommodate tree and shrub planting.

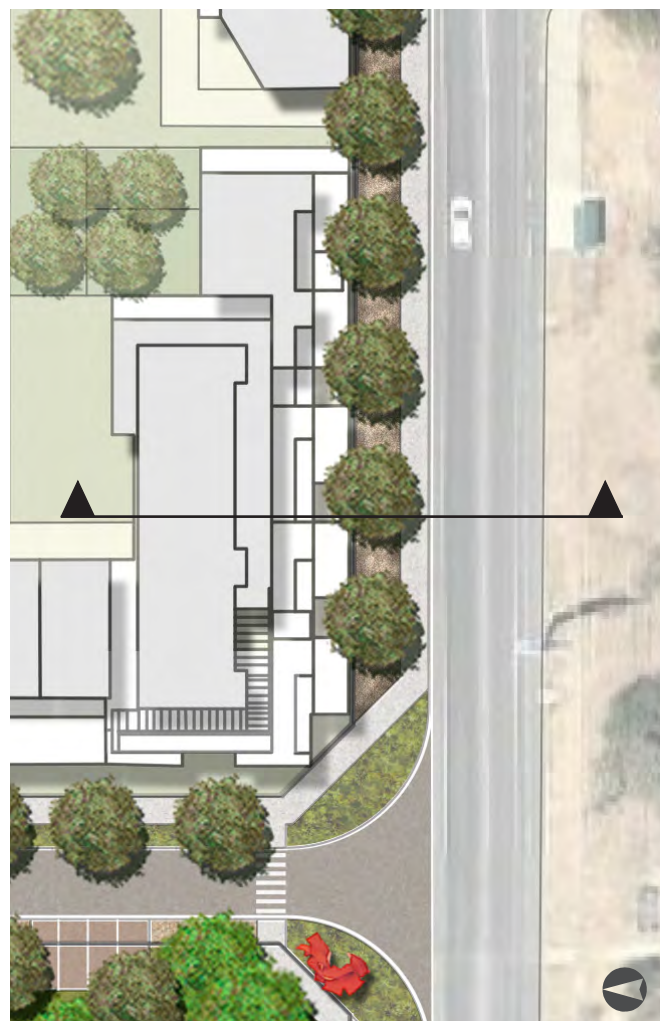
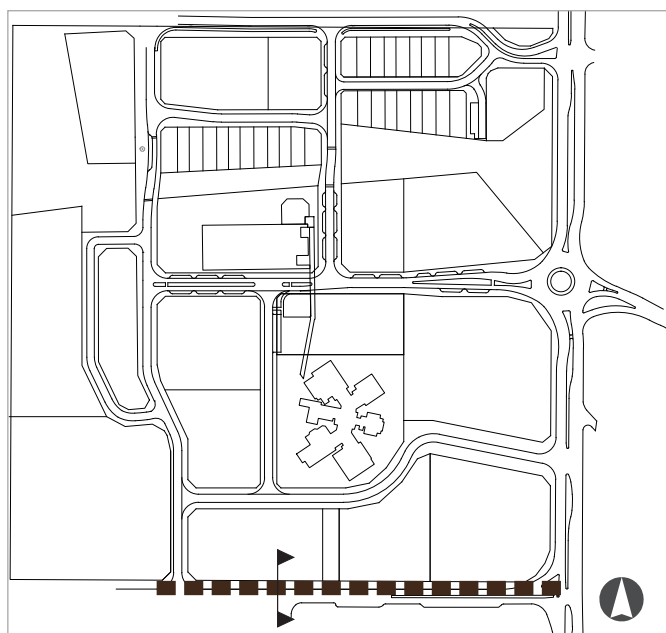


Figure 55 Location Plan

Figure 56 Lemnos Street Typology L1

1.2 INTERFACE TYPOLOGIES

Design Intent

Interface spaces are those areas that sit in the private realm between the edge of the road reserve and the constructed edge of the building. These spaces serve an important threshold function and contribute to the success of the street by defining public/private interactions and can take a range of forms from raised patios, vegetated or landscaped edges to balconies or private courtyards. Whilst they are privately owned they contribute to the aesthetics and the

function of the street through providing a defined edge and the perception of natural surveillance. Built form guidelines typically identify and control setbacks and the following typologies identify relevant design objectives for each interface. Figure 33 identifies locations where a specific and prescribed approach is required to achieve an integrated public realm.

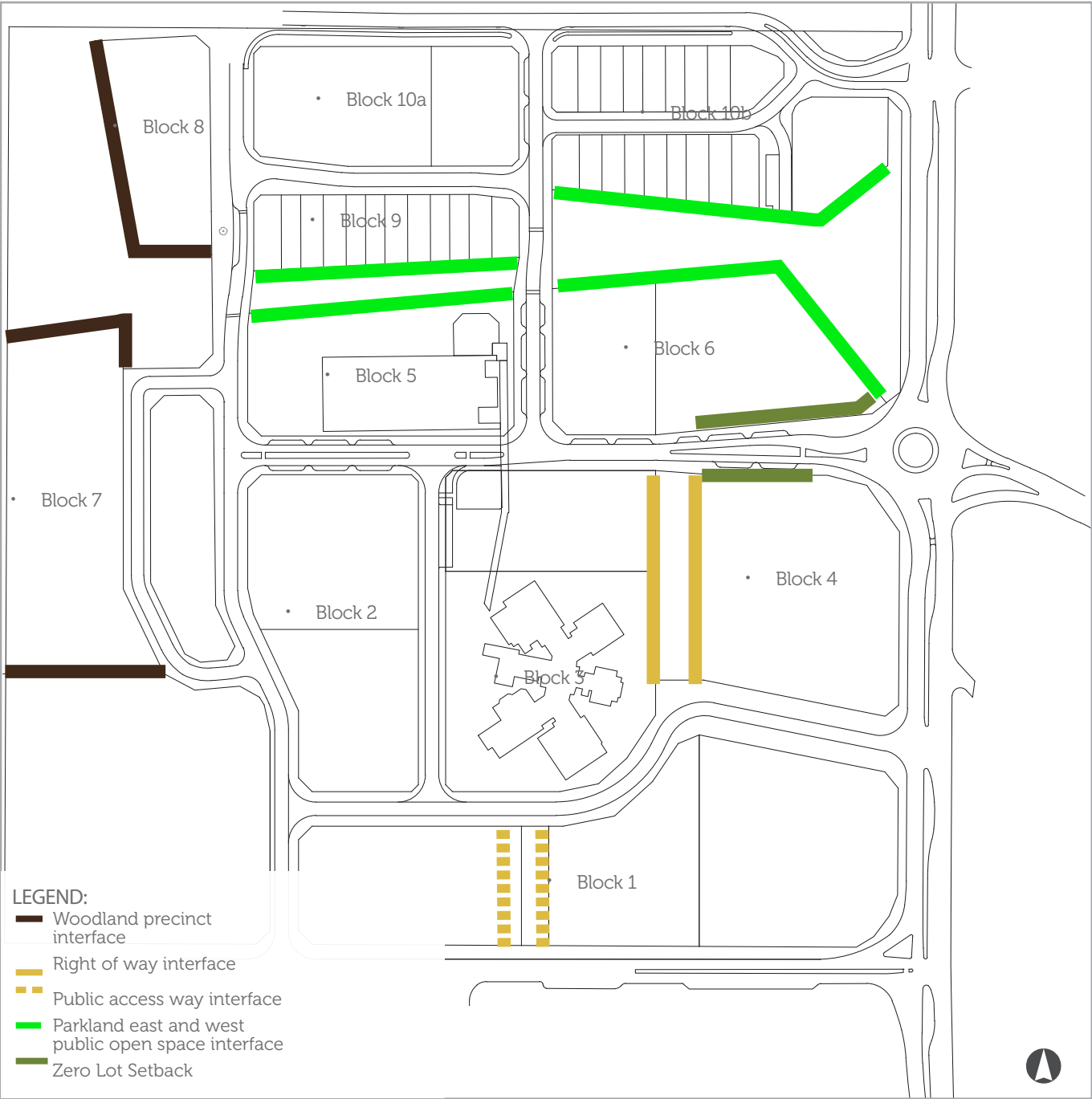


Figure 57 Location Plan

1.2.1 SETBACK INTERFACE TYPOLOGIES.

The following identify the purpose and design objectives for the typical setbacks and interface with the adjacent built form.

1.2.2 ZERO LOT SETBACK

Where zero lot setbacks exist, there is no public space between the built edge and the public realm however there remains a need for an interface. This typically focuses around the entry threshold to ensure that the street entry to the site is clearly defined and does not impede the public right of way. These zero lot interfaces typically push back into the building to provide an opportunity to step outside of the public realm and into a transition zone before entering a building.

The zero lot line is typically seen in a shop front environment and is often coupled with a display window to enable the viewing of wares. Where these are used in residential interfaces the importance of an internalised threshold space is increased to create a private entry space.

Design Objectives

- Inset entry threshold into building.
- Truncation to entry threshold to minimise obscured view lines to and from the street.
- Awning projections shall be as per Mixed Use and Multi Dwelling Design Guidelines.

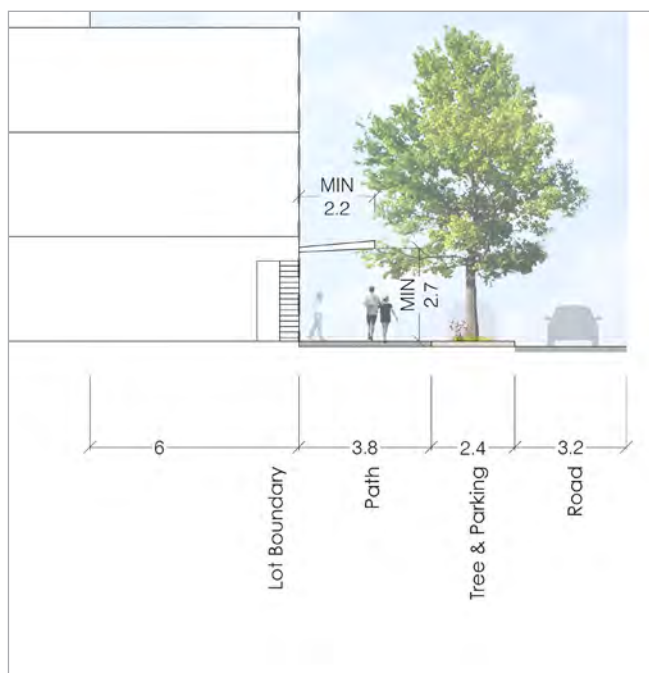


Figure 58 Zero Lot Setback

1.2.3 2M SETBACK AT GRADE

A semi-public/semi private condition exist where a building is setback 2m from the street but remains at the same grade. It is important to define the interface here with a clear delineation of private space versus public space. This can take the form of a low wall or hedge that still enables passive surveillance of the street but provides a sense of enclosure and ownership of the interface.

Design objectives

- Inclusion of a consistent low fence or hedge as per the Mixed Use and Multi Dwelling Design Guidelines.
- Utilise planting and vegetation in the interface space to add privacy.



Figure 59 2m Setback

1.2.4 2M SETBACK ABOVE GRADE

Additional separation from the private realm can be achieved through a change in elevation. The built edge may take the form of a vegetated strip or directly lead to a balcony adjacent to the street. The elevation in this condition provides additional definition of the public and private realm.

Design Objectives

- The finished floor level of the building shall not be elevated more than 0.9m as per the Mixed Use and Multi Dwelling Design Guidelines.
- Balustrades shall be visually permeable as per the Mixed Use and Multi Dwelling Design Guidelines.
- Where a vegetated strip is located within the 2m setback, the care and maintenance of the vegetation shall be the responsibility of the private development and conditions relating to Softscaping in the Mixed Use and Multi Dwelling Design Guidelines shall be adhered to.

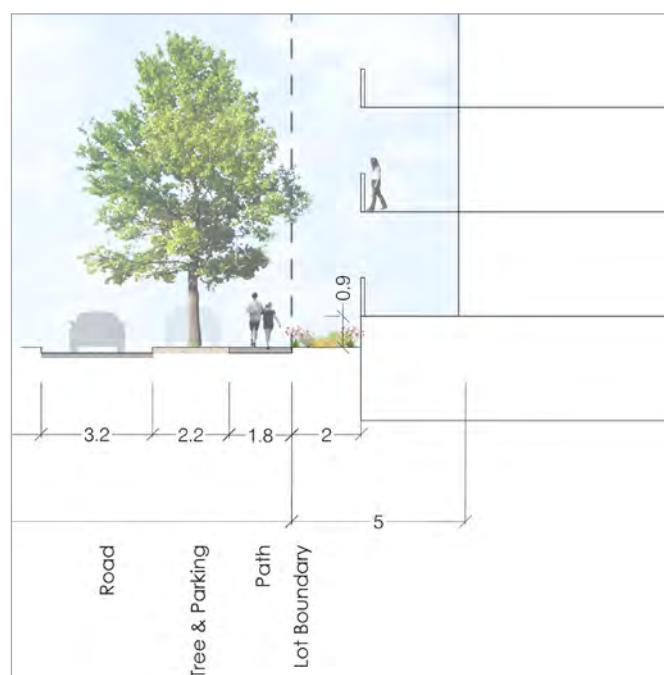


Figure 60 2m Setback Above Grade

1.2.5 4M SETBACK

A 4m setback typically provides adequate separation between the public and private realm. These interface spaces may be utilised as planting zones or to accommodate grade changes across the fall of the street. The built edge adjacent shall still address the street edge and provide natural surveillance.

Design objectives.

- Where a vegetated strip is located within the 4m setback the care and maintenance of the vegetation shall be the responsibility of the private development and conditions relating to Softscaping in the Mixed Use and Multi Dwelling Design Guidelines shall be adhered to.
- A low wall up to 0.5m in height shall define the separation between public and private realm.



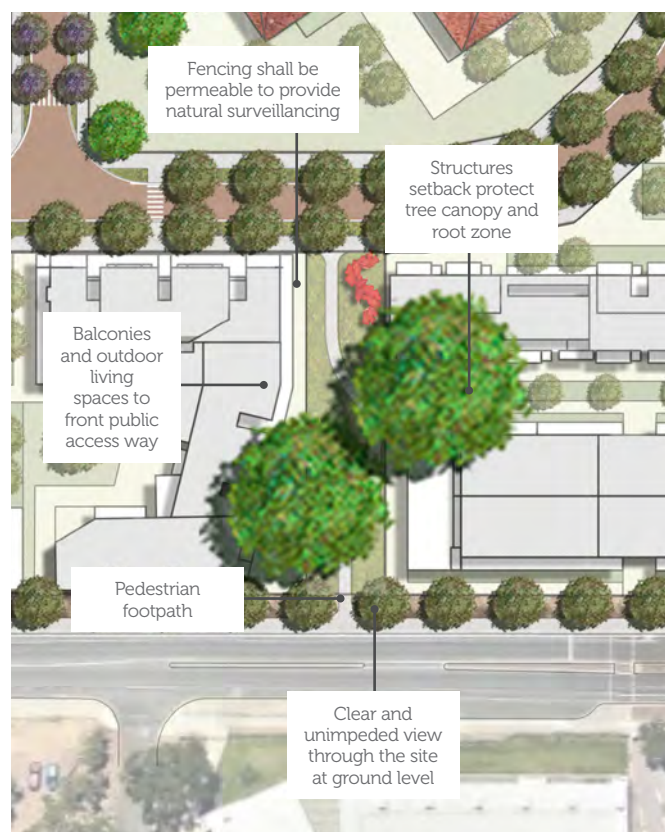
Figure 61 4m Setback

1.3 EASEMENT INTERFACE TYPOLOGY

There are two easements designated on the site with the primary objective to facilitate public access across private land.

1.3.1 PUBLIC ACCESS WAY EASEMENT

A public access way connects Lemnos Street through Block 1 to Road 8. This public access way serves to retain existing trees and provide amenity to the adjacent properties and becomes an important connection, improving permeability along the southern edge of Montario Quarter. The interface of adjacent buildings with this public access way will provide natural surveillance of the public access way.



Design Objectives

- A footpath facilitating pedestrian access shall be provided, offering a clear and unimpeded view from street edge to street edge.
- Additional trees shall be provided to create a continuous link offering shade and shelter along the pedestrian route.
- Ensure pedestrian access way is available across day and night cycles through the provision of lighting.
- Adjacent structures shall be setback from retained trees to protect the canopy and root zone.
- Minimise the separation between the lowest level of the building and the public open space. Height difference between these elements should not exceed 0.9m.
- Fencing facing the access way shall be permeable as per the Multi-Dwelling and Mixed Use Design Guidelines.
- Provide an appropriate interface that addresses CPTED principles and topographic changes. This may include fronting dwellings onto the access way or locating balconies and outdoor living spaces to provide natural surveillance.

1.3.2 SHARED SPACE RIGHT OF WAY EASEMENT

The right of way interface between Block 3 and Block 4 provides a necessary pedestrian link traversing north – south through the site. Although this right of way exists in a private lot, it will be publicly accessible and plays an important role in the site's movement network. The interface within this space needs to signify its function as a publicly accessible space and maintain the necessary operational requirements of Blocks 3 and 4. This right of way may accommodate vehicles but its primary function shall be as a pedestrian space.



Design Objectives

- Create a pedestrian prioritised environment through appropriately scaled materials, surfaces and furniture. Pedestrian comfort through shade, shelter and seating shall be provided along the length of the easement. Design and materials shall be utilised to encourage slow vehicle speeds.
- Trees within this easement that contribute to the pedestrian environment shall be retained.
- The easement shall accommodate a range of surface parking opportunities for vehicles, mopeds and bicycles to facilitate use of both Blocks 3, 4 and the adjacent public open space.
- The easement shall be designed to function as a flexible space and shall include a level and unimpeded space that enables the operation of temporary uses such as small scale markets and gathering spaces.
- Public art may be located within this right of way that complements the site and adjacent uses.
- Design and materials should mesh seamlessly with surrounding areas.

1.4 PUBLIC REALM INTERFACE

There are two direct interfaces between buildable lots and the adjacent open space. The purpose and design intent of these interactions have been identified below.

1.4.1 BLOCK 2 & 9 – WOODLAND PRECINCT

The Woodland precinct offers some unique challenges given the topography of the site and its bushland setting. The interface between buildings and the public realm needs to be carefully considered to maintain connection and engagement with the ground plane, meet bushfire regulations and provide natural surveillance in accordance with CPTED principles.

Design Objectives

- Minimise the separation between the lowest level of buildings and the public open space to enable engagement and access.
- Landscape buffer in this interface shall be suitable to minimise bushfire risk. The buffer between built form and fire risk bushland shall be in accordance with setbacks established in State Planning Policy 3.7 Planning in Bushfire Prone Areas.
- The public realm immediately adjacent to the build edge shall generally be low level plantings and be visually permeable in nature to ensure CPTED principles are maintained.



1.4.2 PARKLAND LINK EAST & WEST PUBLIC OPEN SPACE

The parkland east and west public open spaces provide an opportunity for direct interaction with the space and offer natural surveillance. The adjacent residences are generally elevated above the open space providing natural surveillance opportunities. These edges provide a consistent fence line and aesthetic. Building setbacks are detailed in both the single and grouped dwellings design guidelines and the Multiple Dwelling and Mixed Use Design Guidelines.

Design Objectives

- The finished floor level of the building shall not be elevated more than 0.9m above the grade of the adjacent open space ground level.
- Fencing shall not exceed 1.2m in height and shall be a minimum of 50% permeable.
- The single residential lots on the northern edge of the public open space shall have an access point into each lot. This entry shall be set into the lot and not extend into the open space.
- Dwellings adjacent to the open space on the southern edge shall have balconies and outdoor living spaces addressing the open space to provide natural surveillance.



1.5 POS TYPOLOGIES

Design Intent

The POS typologies have been developed as a response to the functional, overall thematic and individual precinct requirements within the development.

Each POS typology is distinct to itself in terms of its functional requirements, with a standard aesthetic requirements to be achieved within each POS area.

POS Functionality

The functionality and amenity assigned to each POS has been determined by the following factors:

- Existing local amenity.
- Existing site conditions.
- Historical/heritage considerations.
- Areas intended for high use/gathering hubs.
- Proximity to population density.
- Proximity to public transport links.
- Proximity to similar amenity.
- Proximity to building occupation.
- Diversity of space and function.
- Precinct themes.

LEGEND:



EXERCISE & KICK-A-BOUT



PLAY



PARKLAND & AMENITY



DOG EXERCISE



LOOKOUT



PEDESTRIAN CONNECTIVITY



HERITAGE INTERFACE



EVENT SPACE



COMMUNITY & CIVIC SPACE



CAFE/KIOSK & RETAIL



PUBLIC TRANSPORT - BUS



PUBLIC TRANSPORT - TRAIN



Figure 62 POS Function

1.5.1 PARKLAND POS

Design Objectives

The landscape design intent for the parkland link can be loosely defined by two terms: recreation and reflection. These concepts are important aspects of community health and wellness and are embraced in the landscape design in the precinct.

This POS is also the primary green connector throughout the development, linking Charles Stokes Reserve to the Woodland POS and bush forever reserves further afield. As such, continuous pedestrian and cycle paths will be incorporated into the parkland.

Parkland East has a focus on recreation through the delivery of multiple 'rooms' that focus on differing recreation activities for all ages, from junior play through to adult fitness equipment and group recreation.

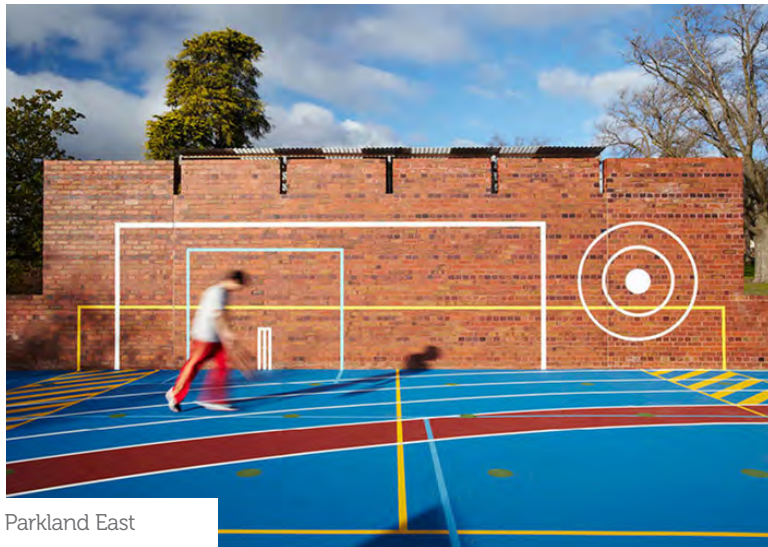
Parkland West has a focus on reflection, providing passive seating and contemplation spaces in a canopied and protected environment. This POS is focussed on the delivery of an 'urban forest' creating a sense of enclosure as a counterpoint to the open and active Parkland East



Parkland West



Figure 63 Parkland West POS



Parkland East



Parkland East



Parkland East



Figure 64 Parkland East POS



Community Lawn



Community Lawn



Community Lawn

1.5.2 COMMUNITY LAWN POS

Design Objectives

The Heritage Precinct Community Lawn POS forms the heart of the new development. It is the gathering place for community events, creating a place where the local community is engaged in the ownership and development of culture and a sense of place. Communal facilities such as barbecues, exercise and play will allow residents to gather informally and through adding a layer of social history, with interpretation in artwork and re-use of salvaged materials, new residents will have an immediate sense of belonging.

This POS has opportunities to provide a community orchard as part of the planting palette.

Special consideration should be given to how the Community Lawn links to the adjoining Victoria House and retail sites.



Figure 65 Community Lawn POS



1.5.3 WOODLAND POS

Design Objectives

The design intent of the Woodland Precinct is the celebration of regeneration, renewal and environment. This will be achieved through the retention and rehabilitation of existing quality native bushland, rehabilitation of new bushland areas and incorporating incidental play and nature play interventions into the precinct. This, coupled with cycling and walking trails, interpretive signage and framed views beyond the site will act as a physical and experiential counterpoint to the other precincts within the development.



Figure 66 Woodland POS



D

SELECTIONS

4.0 SELECTIONS

Part D: Selections details the key design considerations for all elements of the public realm.

4.1 SOFTWORKS

4.1.1 STREET TREE HIERARCHY

Design Intent

The selections of the street trees throughout the various streetscapes are driven by the following factors:

- Achievement of the stated design objectives for each street typology.
- Proximity to built form.
- Shading from building heights.
- Soil conditions.
- Overall themes.
- Location/proximity to POS areas.
- Striking an endemic vs exotic balance with regards to aboriginal and european heritage.

Design Considerations

- Changing of street tree species where street interfaces with POS area to mark the entry to the various parks within the development.
- Selecting landmark trees where appropriate for wayfinding.
- Underground service requirements..
- The proponent will require the approval on all species from the City.

Figure 67 outlines acceptable species to establish each streetscape typology, however, approval on final species from the City will be required.





LEGEND:

- *Angophora costata* - Sydney Red Gum
- *Ulmus parvifolia* - Chinese Elm
- *Olea europaea* - Olive
- *Jacaranda mimosifolia* - Jacaranda
- *Araucaria columnaris* - Cook Island Pine
- *Eucalyptus marginata* - Jarrah
- *Eucalyptus sideroxylon* 'Rosea' - Red Ironbark
- *Libidibia ferrea* - Leopard Tree
- *Erythrina syskii* - Coral Tree



Angophora costata
Sydney Red Gum



Araucaria columnaris
Cook Island Pine

Figure 67 Street Tree Hierarchy

4.1.2 POSTREE HIERARCHY

Design Intent

The selections of the trees throughout the various POS areas are driven by the following factors:

- Proximity to built form.
- Shading from building heights.
- Soil conditions.
- Heritage influences.
- Overall themes.
- Striking an endemic vs exotic balance with regards to aboriginal and european heritage.
- Suitability for drainage requirements.
- Providing variety throughout the development that promotes fauna diversity and habitation.
- Safety and surveillance.

Design Considerations

- Selecting landmark trees where appropriate to mark gateways into the various precincts.
- Establishing habitable spaces below canopies in kick about areas.
- Selecting appropriate species in areas of water inundation.
- Underground service requirements.
- The designer will require the sign off on all species from the City.



Olea europaea
Olive

4.1.3 POS PLANTING SELECTIONS

Design Intent

The selections of the plant species throughout the various POS areas are driven by the following factors:

- Exposure to prevailing winds.
- Shading from building heights.
- Soil conditions.
- Coastal exposure.
- Heritage influences.
- Overall themes.
- Suitability for drainage requirements.
- Providing variety throughout the development that promotes fauna diversity and habitation.



Libidibia ferrea
Leopard Tree



Erythrina syskii
Coral Tree



Hemiandra pungens
Snake bush



Hibbertia racemosa
Stalked Guinea Flower



Kennedia prostrata
Running Postman



Conostylus candicans
Grey Cottonhead



Verticordia plumosa
Plumed Featherflower



Dampiera teres
Terete-leaved Dampiera



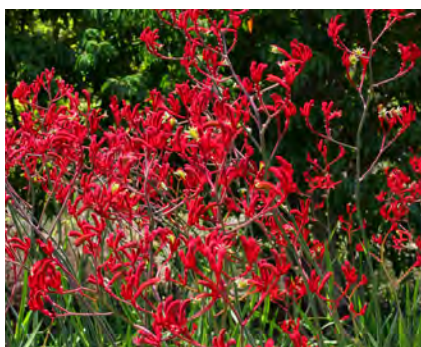
Adenanthos meisneri
Prostrate Woollybush



Leucophyta brownii
Cushion Bush



Thysanotus multiflorus
Many-flowered Fringe Lily



Anigozanthos 'Big Red'
Big Red



Verticordia chrysantha
Yellow Feather Flower



Anigozanthos manglesii
Mangles Kangaroo Paw

Woodland Design Considerations

- Species selections to be Western Australian native species and preference given to endemic selections.
- DFES planting guidelines to be referenced in bushfire management zones.
- Planting to be undertaken seasonally due to minimal irrigation supply .
- Selecting plant species that provide sensory diversity.
- Selecting plant species that are adaptable and resilient to climactic variation.
- Selecting appropriate species in areas of water inundation.
- Selecting species that will cope with little to no irrigation.
- Underground service requirements.
- CPTED requirements to be incorporated.
- Preference should be given to Carnaby Cockatoo feeding and habitat species.



Eucalyptus gomphocephala
Tuart



Allocasuarina fraseriana
Sheoak

Parkland East Design Considerations

- Species selections to be drought tolerant.
- Preference should be given to Carnaby Cockatoo feeding and habitat species.
- Selecting plant species that provide sensory diversity.
- Selecting plant species that are adaptable and resilient to climactic variation.
- Selecting appropriate species in areas of water inundation.
- Underground service requirements.
- CPTED requirements to be incorporated.
- Some fruiting trees may be included at the City's discretion.



Corymbia ficifolia
Albany Red Flowering Gum



Dracaena marginata
Dragon Tree



Malus ioensis 'Plena'
Crab Apple



Citrus sinensis
Orange Tree



Tristaniopsis laurina
Water Gum



Quercus robur
English Oak

Parkland West Design Considerations

- Species selections to be drought tolerant.
- Preference should be given to large canopy trees to contribute to the 'urban forest' feel.
- Selecting plant species that provide sensory diversity.
- Selecting plant species that are adaptable and resilient to climactic variation.
- Underground service requirements.
- CPTED requirements to be incorporated.
- Some fruiting trees may be included as council's discretion.

Community Design Considerations

- Species selections to be drought tolerant.
- Preference should be given to diversity of species selections.
- Selecting plant species that provide sensory diversity.
- Selecting plant species that are adaptable and resilient to climactic variation.
- CPTED requirements to be incorporated.
- Low maintenance fruiting trees to be incorporated into community orchard space in collaboration with the City

4.2 FURNITURE AND FIXTURES

4.2.1 GENERALLY

4.2.1 GENERALLY			Addressed	
Function	Design Intent	Considerations/Objectives	Y	N
FURNITURE AND FIXTURES				
GENERALLY 'Furniture and Fixtures' refers to all outdoor furniture and fixtures included within the public realm intended for public use.	Provide elements that embody the natural and cultural heritage of the area through form and material selection.	Preference will be given for furniture designs that employ sustainable materials.		
		Ensure that potential vandalism issues are addressed to minimise on-going maintenance costs.		
	Comply with all relevant Australian Standards.			
	Ensure appropriate placement of thematic selections as per Parts B and C of the PRG. These elements are critical to establishing the identity of each precinct.	Ensure all furniture and fixtures are readily available from local suppliers or distributors.		
	Custom elements must: - use readily available local materials - meet all construction and safety standards - meet the thematic requirements set out in this document - minimise maintenance - embody design excellence			
		Equal access should be considered in the selection of furniture. Preference will be given to furniture that is accessible for wheelchair-bound visitors.		
		Furniture is to be located where appropriate for its function. CPTED principles to be considered in the placement of furniture.		
		Preference given to furniture and fixtures that have a high degree of functionality, efficiency and comfort.		

4.2.2 BBQ

Design Intent

- To provide BBQ's that are in keeping with the thematic character of the precinct.

Considerations/Objectives

- Incorporate the character intent of the precinct within the BBQ selection or design.
- Ensure BBQ material is of an appropriate durability for location.
- Consider mitigating 'hot to touch' surfaces.
- Consider lockability of access doors.
- Consider location to roads/ accessibility.
- The City's preferred barbecue is the Christie's Modular electric model. It should include a high efficiency CC2 Electric stainless steel hotplate. The hotplate has built in child protection measures, but must be fitted with a "Warning – Hot" label upon installation.

Material options

- Brick
- Stone
- Tile
- Steel

Finish

- Rough cut/ sawn
- Glazed
- Galvanised/ stainless steel

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓		✓	✓	✓													



4.2.3 BALUSTRADE

Design Intent

- To provide balustrades that are robust, functional and easily maintained.

Considerations/Objectives

- Incorporate the character intent of the precinct within the balustrade design.
- Ensure balustrade material is of an appropriate durability for location
- Finish to all balustrade systems to be minimum standard hot dip galvanised steel.

Material options

- Steel

Finish

- Hot dip galvanised
- Stainless steel

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓		✓	✓														



4.2.4 FENCING

Design Intent

- To provide a consistent, attractive and functional fenceline that is robust and that contributes to the character of the precinct and allows for passive surveillance.

Considerations/Objectives

- Includes fencing for rehabilitation areas and a uniform fencing approach.
- Fencing must be visually permeable to allow for passive surveillance.
- Incorporate the character intent of the precinct within the fence design.
- Ensure fence material is of an appropriate durability for location.
- Fencing should have strong aesthetic correlation to balustrade designs.

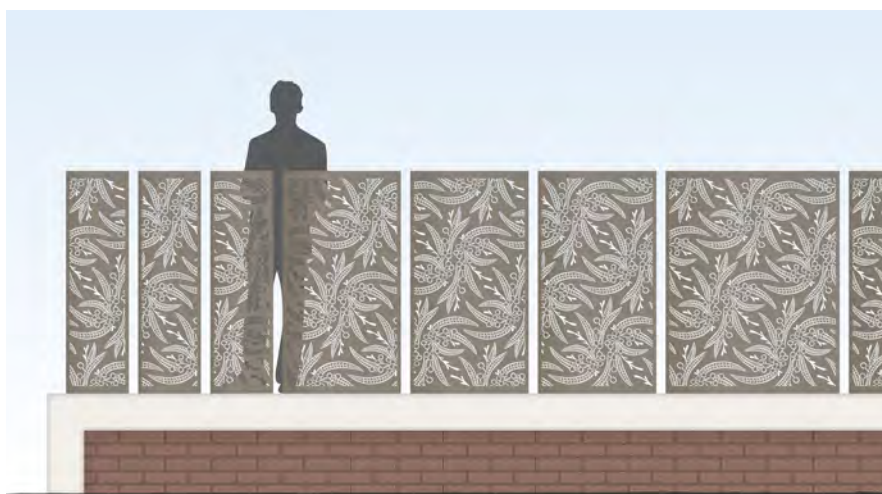
Material options

- Steel

Finish

- Aluminium
- Stainless steel

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓		✓											



4.2.5 HANDRAILS

Design Intent

- To provide an attractive and functional handrail that is robust and that contributes to the character of the precinct through material selection.

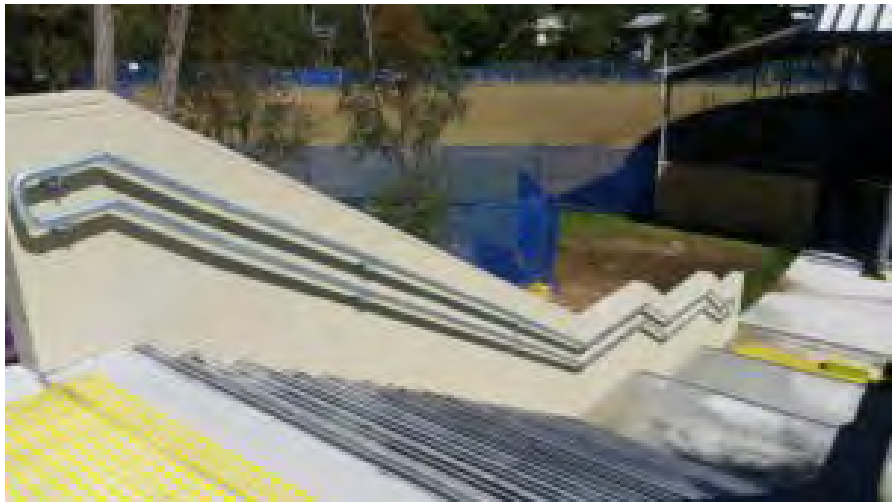
Considerations/Objectives

- Incorporate the character intent of the precinct within the handrail design.
- Ensure balustrade material is of an appropriate durability for location.
- Finish to all handrail systems to be minimum standard hot dip galvanised steel.
- Handrail should have strong aesthetic correlation to balustrade designs.

Material options

- Steel/timber

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓		✓											



4.2.6 BIKE RACKS

Design Intent

- To provide bike racks which are functional and easily maintained.
- To provide an urban element that has a sculptural approach and contributes to the thematic character of the precinct.

Considerations/Objectives

Assess the location of bike rack to the following criteria:

- Proposed planning uses.
- Destinations.
- Access.

Material selections, alignment and form should reflect the character of the precinct.

Material options

- Steel

Finish

- Hot dip galvanised
- Corten steel

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓		✓		✓	✓				✓		✓						



4.2.7 DRINKING FOUNTAIN

Design Intent

- Provide contemporary drinking fountains that contributes to the precinct character and thematic ideas.

Considerations/Objectives

Drinking Fountains to be located as follows:

- Locate on concrete pad adjacent to major circulation routes and at key nodal locations.
- Locate where practical to access potable water.
- Locate to ensure accessibility outcomes are achieved.
- Ensure isolation tap is installed.

Ensure pet drinking options are incorporated.

Minimise maintenance and vandalism opportunities.

Material options

- Steel/timber

Finish

- Hot dip galvanised
- Powder coat

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓		✓	✓	✓													



4.2.8 BOLLARD

Design Intent

- To provide an attractive bollard to be installed into tree wells within road reserves, protect POS areas from vehicle intervention.
- To contribute to the character of the precinct through material, colour and design resolution.

Considerations/Objectives

Bollards to be located to protect trees in road reserves and to have reflectors to Main Roads WA standards.

- Consider collapsible version for maintenance and access purposes.

Material options

- Recycled plastic
- Steel

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓		✓		✓	✓											



4.2.9 BIN SURROUNDS

Design Intent

- Provide bin surrounds to meet the requirement of the City.
- Utilise colour variation/motif to signify changes in precinct.

Considerations/Objectives

Assess the location of bins to the following criteria:

- Accessibility for servicing.
- Located within main circulation associated with seating/nodal areas.
- Site away from seating areas.

Bins adjacent to paths to be located in hardstand areas. Minimum hardstand dimensions to be 500 x 500mm.

Material options

- Steel
- Timber composite

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓	✓		✓		✓			✓				✓	



4.2.10 SEATS AND TABLES

Design Intent

- To contribute to the character of the precinct through material selection whilst being robust with a long life cycle.

Considerations/Objectives

- Incorporate the character intent of the precinct within the furniture selection.
- Ensure seats and table material is of an appropriate durability for location.
- Should have strong correlation to benches and streetscape furniture suite.

Material options concrete/brick

- Steel/timber/

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓	✓												



4.2.11 BENCH SEATS

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	
ROAD 3	✓
ROAD 4	
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	
ROAD 8	✓
ROAD 9	
SELBY STREET	✓
LEMNOS STREET	

Design Intent

- To contribute to the character of the precinct through material selection whilst being robust with a long life cycle.

Considerations/Objectives

- Incorporate the character intent of the precinct within the furniture selection.
- Ensure seats and table material is of an appropriate durability for location.
- Should have strong correlation to seats and tables and streetscape furniture suite.

Material options

- Steel/timber/concrete/brick

Finish

- Hot dip galvanised steel
- Honed concrete
- Oiled timber



4.2.12 SKATE DETERRENTS

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	
ROAD 3	✓
ROAD 4	
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	
ROAD 8	✓
ROAD 9	
SELBY STREET	✓
LEMNOS STREET	

Design Intent

- To provide an attractive and robust solution to protecting furniture from skate and BMX vandalism.

Considerations/Objectives

- Ensure material is robust. Ensure visual appearance does not dominate custom furniture design.
- Incorporate deterrents into custom furniture design.

Material options

- Steel

Finish

- Stainless steel/iron

4.2.13 SERVICE PIT COVERS

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	✓
ROAD 3	✓
ROAD 4	✓
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	✓
ROAD 8	✓
ROAD 9	✓
SELBY STREET	✓
LEMNOS STREET	✓

Design Intent

- To be well presented, aligned with paving treatment and in keeping with materiality of the precinct.

Considerations/Objectives

- Must meet vehicle loading requirements.

Material options

- Steel
- Infill to match surrounds

4.2.14 TREE GRATES

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	
WOODLAND POS SOUTH	
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	
ROAD 2	
ROAD 3	✓
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	✓
ROAD 7	✓
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To contribute to the character of the precinct through customisation, patterning etc.

Considerations/Objectives

- Minimise maintenance and vandalism opportunities.
- Ensure non slip requirements are met.

Material options

- Steel

Finish

- Hot dip galvanised steel
- Iron



4.3 LIGHTING

4.3.1 GENERALLY

4.3.1 GENERALLY			Addressed	
Function	Design Intent	Considerations/Objectives	Y	N
LIGHTING				
GENERALLY 'Furniture and Fixtures' refers to all outdoor furniture and fixtures included within the public realm intended for public use.	Lighting is a key component of the activation and liveability of the area. Careful consideration should be given to the placement, aesthetics and management of design choices to ensure the lighting design fulfils the safety and activation requirements.	Comply with all relevant Australian Standards.		
		Ensure all lighting poles and fixtures are readily available from local suppliers or distributors.		
		Lighting is to be located where appropriate for its function.		
		Ensure that trafficability of all in-ground fixtures is addressed.		
		Ensure that potential vandalism issues are addressed to minimise on-going maintenance costs.		
		Area lighting is not to be located within 10m of residential properties (streets excluded).		
		Lighting adjacent to bushland is to be located and specified to minimise light spill into habitat areas.		
		A 'PE' cell and timer control system is to be installed for all lighting. All control gear is to be easily accessible for maintenance.		
		Only fittings specifically designed for outdoor conditions shall be used.		
		In-ground feature lighting is to be installed flush with the surrounding surface.		
	All lighting fixtures to use LED fixtures unless otherwise approved by the City of Nedlands.			
	CPTED principles to be considered throughout the design.			

4.3.2 STREET LIGHTING

Design Intent

- To be well presented, easily maintained and discrete on the street.

Considerations/Objectives

- Must meet local authorities requirements for performance and maintenance .
- All light fixtures to be LED light fixture .
- To be provided in accordance with Western Power Corporation specification for illumination levels, materials and installation. Lighting design shall be in accordance with the latest edition of Australian Standards AS 1158-2005 and light pole types, colours and light fixtures to be approved by the local authority.
- Illumination is not to spill beyond the front building line of the adjacent properties unless required for security purposes.

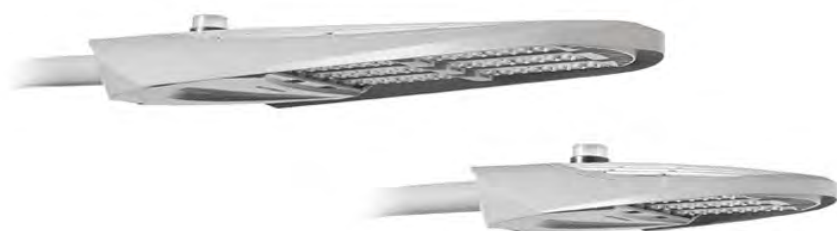
Material options

- Steel

Finish

- Galvanised steel

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
					✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓



4.3.3 POS LIGHTING

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To be well presented, easily maintained and discrete.
- To enable recreation activities and safe pedestrian movements.

Considerations/Objectives

- Must meet local authorities requirements for performance and maintenance.
- All light fixtures to be LED light fixture.
- Flush uplighting to support wayfinding and heritage interpretation.
- Single outreach, tapered light pole with oval shaped light encasing and LED light fixture. Solar lighting to be considered.
- POS lighting to be lit until 11pm each night for activation and security purposes.
- Consider powder coating poles to give each POS a distinct character.
- Bollard lighting not to be used for maintenance and performance reasons.

Material options

- Steel

Finish

- Galvanised steel with powder coat option



4.3.4 SPORTS/EVENT LIGHTING

PARKLAND EAST	
PARKLAND WEST	
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To be well presented, easily maintained and discrete.

Considerations/Objectives

- Must meet local authorities requirements for performance and maintenance .
- All light fixtures to be LED light fixture .
- Lighting design shall be in accordance with the latest edition of Australian Standards AS 1158-2005 and light pole types, colours and light fixtures to be approved by the local authority.
- Illumination is not to spill beyond the front building line of the adjacent properties unless required for security purposes.

Material options

- Steel

Finish

- Galvanised steel



4.4 PLAY ELEMENTS

4.4.1 GENERALLY

Function	Design Intent	Considerations/Objectives	Addressed	
			Y	N
PLAY SPACES				
<p>GENERALLY</p> <p>'Play space' refers to areas within a landscape of which the primary function is to provide play value for users.</p>	<p>Play spaces are to be multi functional and cater to a variety of age groups and abilities. Play spaces are key to the activation, education and liveability of the development and should embody the thematic components of each precinct.</p>	Comply with all relevant Australian Standards		
		Play spaces are to be designed to encourage a variety of sensory experiences and will incorporate various play opportunities including:		
		- active / physical play		
		- cognitive play		
		- social play		
		Equal opportunity for access should be considered in the design and location of play spaces.		
		Play spaces should provide risk and challenge, however are safe and free of hazards.		
		Play spaces are to be located a minimum of 8m away from roads and permanent water bodies.		
		Both custom and off-the-shelf play equipment may be included in a play space.		
		Locate play spaces to ensure adequate shade provision. Design to minimise the necessity for solid or tensile shade structures where possible.		
Play spaces to be designed to accommodate a variety of age groups.				
CPTED principles to be considered throughout the design.				
Maintenance and emergency services access to play space areas should be incorporated into the placement of play space areas.				

4.4.2 INCIDENTAL PLAY

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
	✓		✓														



Design Intent

- To enhance the pedestrian experience through incidental activities or interest.
- To enhance the overall themes of the precinct.

4.4.3 PLAYGROUNDS

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓																	

Design Intent

- To create play environments that promote community engagement, interaction, education, development of physical coordination, strength and flexibility, as well as providing recreation and enjoyment.
- To enhance the overall themes of the precinct.

Considerations/Objectives

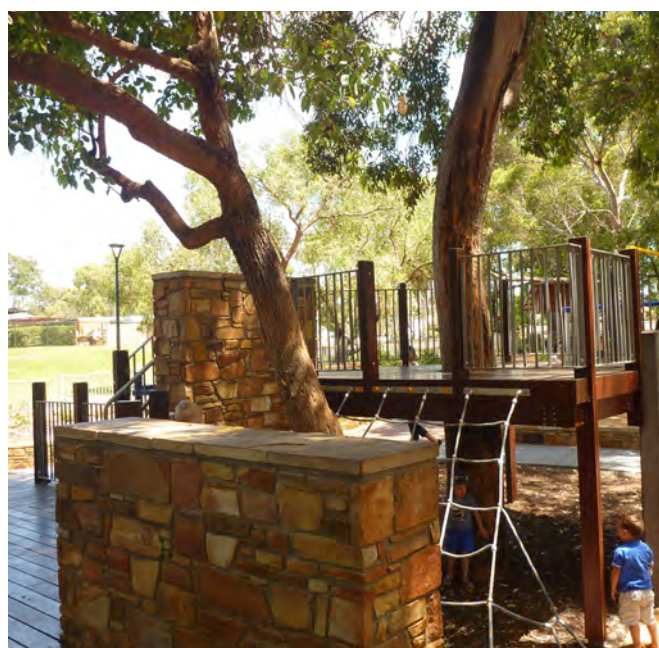
- To be located in key positions relative to pedestrian access, vehicles networks and POS location.
- Ensure playground is integrated with sheltered areas that protect from sun and rain.
- The design of playgrounds should minimise maintenance and vandalism opportunities.
- Design of the playground should strongly reflect the themes and character of the precinct.
- All playgrounds should have appropriate structural engineering sign-off.
- Should meet Australian Standards.
- Should explore opportunities to integrate artwork, seating, BBQ's, bins, picnic settings etc.
- Should consider proximity and integration of additional elements such as exercise equipment, sports facilities (soccer pitches, half basketball courts etc) to further promote a community feel.
- Equal opportunity for access should be considered in the design and location of play spaces.

Material options

- Sustainable plastics
- Steel
- Concrete
- Stone
- Found objects

Finish

- As per manufacturers specifications



4.4.4 NATUREPLAY

PARKLAND EAST	
PARKLAND WEST	
HERITAGE POS	
WOODLAND POS NORTH	
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	
LINKAGE EASEMENT	
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To create play environments that blend natural materials, features and indigenous vegetation with creative landforms to create purposely complex interplays of natural, environmental objects in ways that challenge, fascinate and educate children.
- To enhance the overall themes of the precinct.

Considerations/Objectives

- To be located in key positions relative to pedestrian access, vehicles networks and POS location.
- Ensure playground is integrated with sheltered areas that protect from sun and rain.
- The design of playground should minimise maintenance and vandalism opportunities.
- All playgrounds should have appropriate structural engineering sign-off.
- Should meet Australian Standards.
- Should explore opportunities to integrate artwork, seating, BBQ's, bins, picnic settings etc.
- Play components may include earth shapes (sculptures), environmental art, native vegetation, boulders or other rock structures, dirt and sand, natural fences (stone, willow, wooden), textured pathways and natural water features.
- Equal opportunity for access should be considered in the design and location of play spaces.

Material options

- Timber
- Steel
- Concrete
- Stone
- Found objects

Finish

- Rustic



4.4.5 FITNESS STATIONS

PARKLAND EAST	✓
PARKLAND WEST	
HERITAGE POS	
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	
LINKAGE EASEMENT	
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To create opportunities that promote physical fitness, wellbeing and play opportunities.
- To enhance the overall themes of the precinct.



4.4.6 PET EXERCISE AREA

PARKLAND EAST	
PARKLAND WEST	
HERITAGE POS	
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	
HERITAGE EASEMENT	
LINKAGE EASEMENT	
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To create a designated off-leash pet exercise area that promotes community wellbeing, wellness and responsible pet ownership.



4.5 PUBLIC ART

4.5.1 GENERALLY

4.5.1 GENERALLY

Function	Design Intent	Considerations/Objectives	Addressed	
			Y	N
PUBLIC ART				
'Public Art' refers to artworks within the public realm, including but not limited to: - Sculptures - Lighting installations - Temporary interventions - Way finding - Landmark artworks - Landscape art - Built form interventions - Gateway icons - Interpretive artworks - Heritage markers	Public Artworks are to be designed to express the cultural and historical past of the site, specifically highlighting areas of interest as well as helping form precincts within the development. Public art can be used as a mechanism for educating and way finding, and enhance the overall cultural aspect of the development.	All artworks should be designed to encourage a variety of sensory experiences.		
		All artworks should be designed to promote the historical, social and cultural context of the site.		
		All artworks should contribute to creating a sense of place within the various precincts as well as specific areas of interest.		
		Should have area lighting to the appropriate standards. Refer to Item 2.0: Lighting for further information.		
		Ensure universal access is accommodated where required.		
		Access for maintenance is considered.		
		All sculptures to be constructed shall obtain a Certificate of Design Compliance by an independent registered building surveyor prior to lodging a building permit application.		
		A maintenance and management plan is to be undertaken for all artworks located in the public realm prior to handover.		
		All works designated as public art within the public realm must undertake a standard deed of agreement with the City of Nedland as part of the procurement process. Standard conditions and inclusions of the agreement include clauses that deal with donating the artwork, final inspection prior to installation, insurance matters, intellectual property rights, maintenance, relocation-removal-sale, dispute resolution, notices, assignment and general contract clauses.		

4.6 SIGNAGE

4.6.1 GENERALLY

Function	Design Intent	Considerations/Objectives	Addressed	
			Y	N
SIGNAGE				
'Signage' refers to all permanent and temporary signs within the development, including but not limited to: - Way finding - Interpretive signage - Advertising - Marketing	Signage is to be designed in such as way that it assists with the functionality of the development, both internally and the broader area	All signage should comply with the appropriate standards.		
		Signage for advertising purposes shall be of a temporary nature and subject to planning approval.		
		Ensure that potential vandalism issues are addressed to minimise on-going maintenance costs.		
		Materials proposed shall be durable and hard-wearing, sustainable and readily available from local sources.		
		A maintenance and management plan is to be undertaken for all custom interpretive signage located in the public realm prior to handover.		
		Standard regulatory and advisory signage will be the responsibility of the City.		

4.7 STRUCTURES

4.7.1 GENERALLY

Function	Design Intent	Considerations/Objectives	Addressed	
			Y	N
STRUCTURES				
GENERALLY	Structures.	Comply with all relevant Australian Standards.		
Structures refer to all vertical built form elements within the public realm.		All structures to be constructed shall obtain a Certificate of Design Compliance by an independent registered building surveyor prior to lodging a building permit application.		
		Materials proposed for use in structures shall be durable and hard-wearing, sustainable and readily available from local sources.		
		Ensure siting of structures considers: - universal access - views to and from the structure - servicing requirements		
		Structures are to incorporate the character intent of the precinct.		
		Ensure structures allow for all weather conditions.		
		Incorporate 3-phase power connection and water connection into each shelter.		

SHELTERS

Design Intent

- To provide shelters that are unique to the precinct and enhance the overall character of the precinct.
- To provide public amenity that contributes to the activation of Public Open Space.

Considerations/Objectives

- To be located in key positions relative to pedestrian access, vehicles networks and POS location.
- Ensure shelter materials are of an appropriate durability for location.
- The design of shelters should minimise maintenance and vandalism opportunities.
- Design of the shelter should strongly reflect the themes and character of the precinct.
- All shelters should have appropriate structural engineering sign off.
- Should meet Australian Standards.
- Should explore opportunities to integrate artwork, seating, BBQ's, bins and picnic settings etc.

Material options

- Timber
- Steel
- Concrete

Finish

- Varying

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓		✓	✓	✓													



4.7.2 WALLS

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓		✓									✓		

Design Intent

- To reflect the strong heritage of the site.
- To reflect the existing materiality of the site.

Considerations/Objectives

- All walls to have appropriate structural engineering sign-off.
- Ensure wall materials are of an appropriate durability for location.
- Should explore opportunities to integrate seating, wall mounted bins, signage and artwork.
- Should meet Australian Standards.

- Material options
- Concrete
 - Stone
 - Gabion
 - Brick
- Finish
- Varying



4.7.3 STAIRS

PARKLAND EAST	✓
PARKLAND WEST	
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	
LINKAGE EASEMENT	✓
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To reflect the strong heritage of the site.
- To reflect the existing materiality of the site.
- To be located where views are maximised to the city.

Considerations/Objectives

- All stairs to have appropriate structural engineering sign off.
- Ensure stair materials are of an appropriate durability for location.
- Should explore opportunities to integrate seating, signage and artwork.
- Should meet Australian Standards.
- Should have varying degrees of formality, i.e. stone clad stairs vs. informal timber and stabilised gravel stairs.

Material options

- Timber
- Steel
- Concrete
- Stabilised gravel
- Brick



4.7.4 BRIDGES/BOARDWALKS

PARKLAND EAST	
PARKLAND WEST	
HERITAGE POS	
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	
LINKAGE EASEMENT	
ROAD 1	
ROAD 2	
ROAD 3	
ROAD 4	
ELLIS GRIFFITHS RD	✓
ROAD 6	
ROAD 7	
ROAD 8	
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To enhance the overall character of the precinct.
- Should provide passage through drainage basins and maximise opportunities to pause and ponder.
- Can be used to minimise root disturbance around existing trees.

Considerations/Objectives

- All bridges to have appropriate structural engineering sign-off.
- Ensure bridge materials are of an appropriate durability for location.
- Should explore opportunities to integrate seating, signage, shelters and artwork.
- Should meet Australian Standards.
- Should take interesting paths through site rather than be lineal and straight.
- Should explore use of sustainable materials.

Material options

- Timber
- Steel and steel meshes
- Composite timbers



4.8 SURFACE TREATMENTS (HARD)

4.8.1 GENERALLY

Function	Design Intent	Considerations/Objectives	Addressed	
			Y	N
SURFACE TREATMENTS (HARD)				
GENERALLY		Comply with all relevant Australian Standards.		
		Adhere to the themes, colours and materials as indicated in this document.		
		Provide high quality functionality without compromising the aesthetic standards required.		
		All paved surfaces are to be graded to drain to turf and planting areas.		
		Paths are generally to be located to accommodate natural pedestrian desired lines of travel.		
		All concrete, asphalt and paving within the public realm shall be designed to be trafficable by maintenance vehicles.		
		Paving areas and pedestrian paths shall be a minimum width of 1500mm.		
		Loose granular surfaces are not supported for pedestrian areas, unless stabilised.		
		Be cost effective in supply, installation and ongoing maintenance.		
		Ensure liaison with infrastructure engineers to minimise conflicts between services and paved areas.		
	Transitions between precincts to be based on the design rational established in this document.			

4.8.2 EDGE RESTRAINTS

Design Intent

- To provide a robust and durable solution to separating surfaces varying in materiality.

Considerations/Objectives

- Ensure materials are of an appropriate durability for location.
- Should meet Australian Standards.
- Should minimise maintenance and vandalism opportunities.
- Should explore use of sustainable materials.
- Should explore opportunities to be custom designed in key locations to add to the overall character of the precinct.

Material options

- Concrete
- Steel
- Brick

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓	✓	✓	✓										



4.8.3 TRAFFICABLE PAVING

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	✓
ROAD 3	✓
ROAD 4	✓
ELLIS GRIFFITHS RD	
ROAD 6	✓
ROAD 7	✓
ROAD 8	✓
ROAD 9	
SELBY STREET	
LEMNOS STREET	

Design Intent

- To provide adequate surface finishes that meet the requirements of varying uses such as pedestrian activity, cycleways and vehicles.
- Should be of varying materials, finishes and patterns to establish streetscape and POS hierarchies within the precinct.

Considerations/Objectives

- Ensure materials are of an appropriate durability for location.
- Should meet Australian Standards.
- Should minimise maintenance and vandalism opportunities.
- Should explore use of sustainable materials.
- Should explore opportunities to integrate artwork.
- Should clearly establish and help delineate between differing uses, i.e. cycle path vs. pedestrian path.
- Should be sufficiently engineered to withstand service vehicle loadings.
- Should meet the appropriate slip ratings.

Material options

- Concrete
- Stone
- Red asphalt



4.8.4 PAVING/PAVEMENTS

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	✓
ROAD 3	✓
ROAD 4	✓
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	✓
ROAD 8	✓
ROAD 9	✓
SELBY STREET	✓
LEMNOS STREET	✓

Design Intent

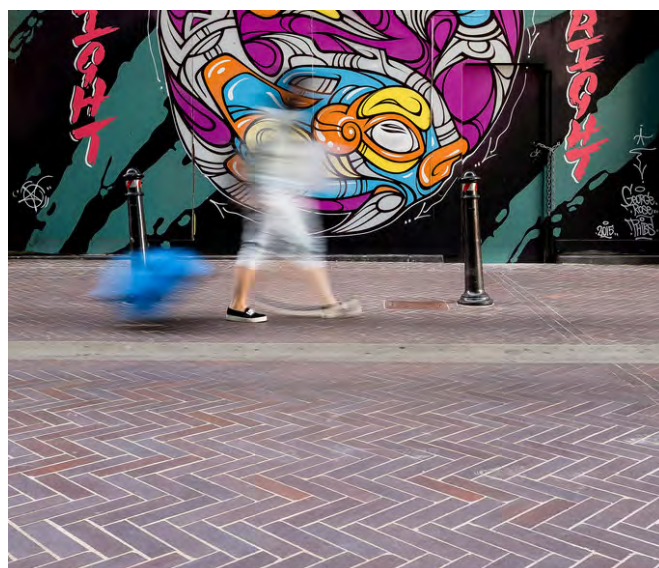
- To provide adequate surface finishes that meet the requirements of varying uses such as pedestrian activity, cycleways and vehicles.
- Should be of varying materials, finishes and patterns to establish streetscape and POS hierarchies within the precinct.

Considerations/Objectives

- Ensure materials are of an appropriate durability for location.
- Should meet Australian Standards.
- Should minimise maintenance and vandalism opportunities.
- Should explore use of sustainable materials.
- Should explore opportunities to integrate artwork.
- Should clearly establish and help delineate between differing uses, i.e. cycle path vs. pedestrian path.
- Should meet the appropriate slip ratings.

Material options

- Brick
- Poured concrete
- Decorative poured concrete
- Decorative concrete pavers
- Red asphalt
- Stabilised gravel



4.9 SURFACE TREATMENTS (SOFT)

4.9.1 GENERALLY

			Addressed	
Function	Design Intent	Considerations/Objectives	Y	N
SURFACE TREATMENTS (SOFT)				
GENERALLY Soft surface treatments refers to all trees, shrubs and grass surfaces that form part of the public realm.	The softworks elements of the project have been designed to ensure a distinctive and coherent sense of place, character and image for Montario Quarter. The provision of a sustainable and high integrity soft landscape is critical to the definition of the project. In this regard emphasis has been placed on the use of climatically appropriate species that respond to the microclimate conditions produced by the development and provide a high level of amenity within the public realm.	Adhere to the themes and aspirations as indicated in parts B and C of this document.		
		Ensure liaison is undertaken with services, alignments/pits, crossover locations and lighting.		
		Ensure existing vegetation to be retained is protected and managed during construction.		
		Review the availability of plant stock early in each development phase and assess the need for contract growing/pre-ordering.		
		Ensure planting does not compromise vehicle sightlines or pedestrian/cyclist safety.		
		Ensure maintenance requirements are considered within the design.		
		Ensure planting is designed to minimise water consumption where possible.		
		Salvaging of materials unable to be retained during construction is preferred.		
		Crime Prevention Through Environmental Design (CPTED) principals shall be considered in the design.		
		Plant and turf species will be required to tolerate a water allocation of 6,000 kl per hectare per annum, being a 20% decrease over current groundwater abstraction allocation regulated by Department of Water and Environment Regulation.		

4.9.2 TURF

Design Intent

- To provide a low cost surface treatment to POS areas which allows activity to occur.

Considerations/Objectives

- Should be adequately irrigated.
- Should meet Australian Standards.
- 'Nematode Clearance' certification.

Material options

- Kikuyu pennisetum

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓	✓	✓	✓	✓		✓								✓			

4.9.3 MULCH

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	✓
ROAD 3	✓
ROAD 4	✓
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	✓
ROAD 8	✓
ROAD 9	✓
SELBY STREET	✓
LEMNOS STREET	✓

Design Intent

- To provide an organic matter that promotes growth in planted areas.

Considerations/Objectives

- Meets AS 4454-2012 certification.

Material options

- Wood chip
- Gravel



4.9.4 SHRUB PLANTING

Design Intent

- To provide planted areas that promote flora and fauna biodiversity.
- Planting palettes should enhance the character of the precinct.

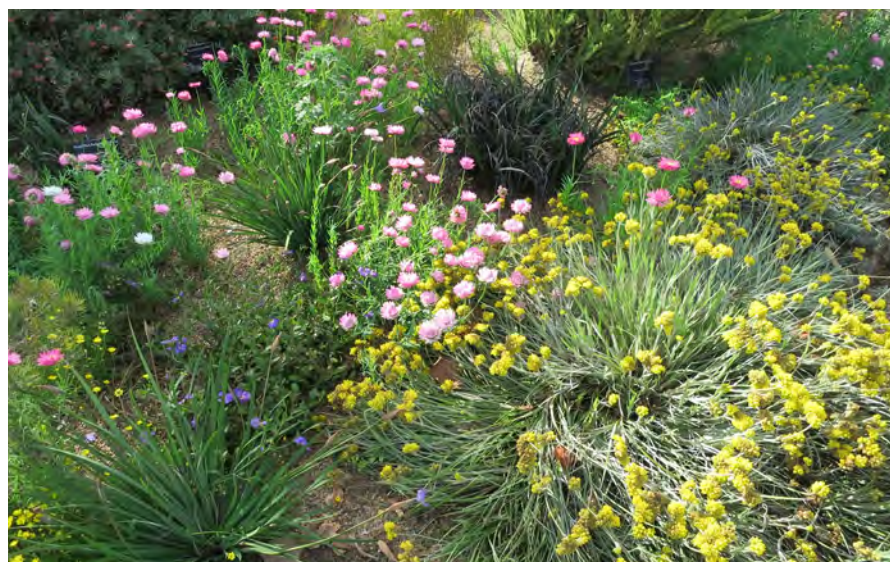
Considerations/Objectives

- Should meet Australian Standards.
- Should minimise maintenance and vandalism opportunities.
- Should assist in surveillance within POS areas, i.e. does not interfere with sight lines through POS.
- Should consider interface with property boundaries and streetscapes.
- Should be adequately irrigated and promote Water Sensitive Urban Design principles.
- Revegetation area planting should be self sustaining.

Material options

- Mix of native and exotic species suited to conditions.

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	✓
ROAD 3	✓
ROAD 4	✓
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	✓
ROAD 8	✓
ROAD 9	✓
SELBY STREET	✓
LEMNOS STREET	✓



4.9.5 TREE PLANTING

PARKLAND EAST	✓
PARKLAND WEST	✓
HERITAGE POS	✓
WOODLAND POS NORTH	✓
WOODLAND POS SOUTH	✓
HERITAGE EASEMENT	✓
LINKAGE EASEMENT	✓
ROAD 1	✓
ROAD 2	✓
ROAD 3	✓
ROAD 4	✓
ELLIS GRIFFITHS RD	✓
ROAD 6	✓
ROAD 7	✓
ROAD 8	✓
ROAD 9	✓
SELBY STREET	✓
LEMNOS STREET	✓

Design Intent

- To provide trees that promote flora and fauna biodiversity.
- Tree planting palettes should enhance the character of the precinct.
- Tree planting should support project design objectives.

Considerations/Objectives

- Should meet Australian Standards for planting.
- Should minimise maintenance.
- Should assist in surveillance within POS areas, i.e. does not interfere with sight lines through POS.
- Should consider interface with property boundaries and streetscapes.
- Should be adequately irrigated and promote Water Sensitive Urban Design principles.

Material options

- Mix of native and exotic species suited to conditions.



4.10 WATER ELEMENTS

4.10.1 GENERALLY

			Addressed	
Function	Design Intent	Considerations/Objectives	Y	N
WATER ELEMENTS				
GENERALLY	The design of water elements needs to be considered on a location-by-location basis. Potential water features and drainage areas have been identified for a number of locations within the various precincts. These elements are critical to the character, ecology and activation of the spaces.	Comply with all relevant Australian Standards.		
		Ensure filtration/aeration/circulation of water is adequate to provide an acceptable level of water quality for the proposed purpose.		
		Ensure gradients into water bodies (permanent and seasonal) are at 1:4 for a minimum of 3 metres.		
		Ensure water depths do not exceed 400mm at edges for a minimum of 1 metre at edges.		
		Ensure water bodies have adequate balustrading to address safety issues where the above requirements of water edge depths and slope gradients into water bodies cannot be achieved.		
		Ensure pump and filtration systems are adequately housed to reduce noise issues (to Australian Standards) and are visually integrated into the surrounding landscape.		
		Provide edge treatment appropriate to use, which provides highest quality aesthetic outcome.		
		Ensure that potential vandalism issues are addressed to minimise on-going maintenance costs.		
		Ensure best practice Water Sensitive Urban Design principles are embedded in all design outcomes.		
		Preference for Water Play elements to be connected to scheme and not a recirculation arrangement so as water monitoring and management is not required.		

4.10.2 DRAINAGE BASINS AND SWALES

Design Intent

- To provide locations for water inundation that assist with the development functionality with a naturalistic aesthetic, and helps promote flora and fauna diversity.

Considerations/Objectives

- Public health and safety.
- Should meet Australian Standards.
- Consider pedestrian networks.
- Ensure planting selections are able to withstand water inundation.
- Ensure planting selections promote diversity and encourage fauna habitation.
- Ensure design promotes the themes of the precinct.
- Ensure adequately lit, using sustainable lighting sources, to allow night activation.
- Ensure standing/still water is filtered.
- Consider water circulation.

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
✓		✓	✓	✓		✓	✓		✓		✓		✓		✓		



4.10.3 WATER PLAY

Design Intent

- To provide an interactive, water sensitive design element that reflects precinct heritage and to assist with activating the heritage plaza.
- To provide small interventions into the nature play area to enhance education and play opportunities.

Considerations/Objectives

- Public health and safety.
- Ensure water meets requirements fit for public consumption.
- The design of water features should minimise maintenance and vandalism opportunities.
- Design of the water features should strongly reflect the themes and character of the precinct.
- Should be interactive to assist with activation.
- Should promote sound water sensitive urban design principles.
- Preference given for mains connected play elements.

PARKLAND EAST	PARKLAND WEST	HERITAGE POS	WOODLAND POS NORTH	WOODLAND POS SOUTH	HERITAGE EASEMENT	LINKAGE EASEMENT	ROAD 1	ROAD 2	ROAD 3	ROAD 4	ELLIS GRIFFITHS RD	ROAD 6	ROAD 7	ROAD 8	ROAD 9	SELBY STREET	LEMNOS STREET
		✓	✓														



